

**VILLAGE OF LA GRANGE
VILLAGE BOARD MEETING
MONDAY, NOVEMBER 24, 2014**

7:30 p.m.

**Village Hall Auditorium
53 South La Grange Road
La Grange, IL 60525**

**Thomas E. Livingston
Village President**

**John Burns
Village Clerk**

VILLAGE OF LA GRANGE
BOARD OF TRUSTEES REGULAR MEETING

Village Hall Auditorium
53 South La Grange Road
La Grange, IL 60525

AGENDA

Monday, November 24, 2014 – 7:30 p.m.

1. CALL TO ORDER, ROLL CALL, PLEDGE OF ALLEGIANCE

*Trustee Holder
Trustee Kuchler
Trustee Langan
Trustee McCarty
Trustee Nowak
Trustee Palermo
President Livingston*

2. PRESIDENT'S REPORT

This is an opportunity for the Village President to report on matters of interest or concern to the Village.

A. Appointment – Community and Economic Development Commission (CEDC)

B. Community Update from La Grange Memorial Hospital

3. PUBLIC COMMENTS REGARDING AGENDA ITEMS

After the Village Clerk has announced the items included on the Omnibus Agenda and under Current Business, members of the public will have the opportunity to speak about any matter that is listed on this Agenda.

4. OMNIBUS AGENDA AND VOTE

Matters on the Omnibus Agenda will be considered by a single motion and vote because they already have been considered fully by the Board at a previous meeting, or have been determined to be of a routine nature. Any member of the Board of Trustees may request that an item be moved from the Omnibus Agenda to Current Business for separate consideration.

A. Request to Purchase – Police Department / Replacement of Investigations Vehicle

B. Map Amendment – Short Term Parking Space / Loading Zones Within the Central Business District / 0-100 Block of W. Calendar Avenue

C. Ordinance – Disposal of Surplus Property / Miscellaneous Personal Property and Evidence

D. Minutes of the Village of La Grange Board of Trustees Regular Meeting, Monday, November 10, 2014

E. Consolidated Voucher 141124

5. CURRENT BUSINESS

This agenda item includes consideration of matters being presented to the Board of Trustees for action.

A. Ordinance – (1) Zoning Map Amendment and (2) Special Use Permit, Planned Development Concept and Final Site Plans for a Multiple Family Residential Building, 40 S. Ashland, 40 Ashland LLC and Michael Streit: *Referred to Trustee McCarty*

B. Ordinance – Referendum Question to Authorize a Three-Quarter Percent Increase in the Village's Non-Home Rule Sales Tax: *Referred to Trustee Nowak*

6. MANAGER'S REPORT

This is an opportunity for the Village Manager to report on behalf of the Village Staff about matters of interest to the Village.

7. PUBLIC COMMENTS REGARDING MATTERS NOT ON AGENDA

This is an opportunity for members of the audience to speak about Village related matters that are not listed on this Agenda.

8. EXECUTIVE SESSION

The Board of Trustees may decide, by a roll call vote, to convene in executive session if there are matters to discuss confidentially, in accordance with the Open Meetings Act.

9. TRUSTEE COMMENTS

The Board of Trustees may wish to comment on any matters.

10. ADJOURNMENT

The Village of La Grange is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations so that they can observe and/or participate in this meeting, or who have questions, regarding the accessibility of the meeting or the Village's facilities, should contact the Village's ADA Coordinator at (708) 579-2315 promptly to allow the Village to make reasonable accommodations for those persons.

PRESIDENT'S REPORT

VILLAGE OF LA GRANGE
Administrative Offices

BOARD REPORT

TO: Village Clerk and Board of Trustees
FROM: Thomas E. Livingston, Village President
DATE: November 24, 2014
RE: **APPOINTMENT — COMMUNITY AND ECONOMIC
DEVELOPMENT COMMISSION (CEDC)**

To fill a vacancy on the Community and Economic Development Commission, I hereby submit the appointment of Ms. Lisa Sher for your approval. Ms. Sher, who resides at 128 S. Madison Avenue, has been a resident of the Village for 18 years. She has indicated her willingness to serve as a member of the Community and Economic Development Commission for a term to expire in the year 2017.

Ms. Sher's resume will be submitted to you under separate cover.

I recommend that this appointment be approved.

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OMNIBUS VOTE

VILLAGE OF LA GRANGE
Police Department

BOARD REPORT

TO: Village President, Village Clerk,
Board of Trustees and Village Attorney

FROM: Robert Pilipiszyn, Village Manager and
Michael Holub, Police Chief

DATE: November 24, 2014

RE: **REQUEST TO PURCHASE – POLICE DEPARTMENT/REPLACEMENT
OF INVESTIGATIONS VEHICLE**

The FY 2014-15 Village budget provides for the replacement of an unmarked vehicle for the Investigations Division.

Historically, we have purchased unmarked squad cars on a 7-year cycle. However, as part of the Village's cost containment efforts, we have adopted a fiscal policy of "maintain and retain" as it relates to fleet management. We have been able to service and operate this vehicle for two additional years beyond its scheduled replacement in accordance with this policy.

The unmarked vehicle we seek to replace is our 2005 Ford Explorer SUV. The Village's mechanic has performed an assessment of the vehicle which has a reading of 34,038 miles and has identified a number of costly repairs to keep the vehicle operational.

In-house repairs of the existing mechanical issues, more specifically, the starter, the alternator, the belts, the hoses, the battery, a front end alignment, a new muffler, a tune up, and an oil change, would be approximately \$1,500 to \$1,600. That cost would increase if the vehicle required front end parts. An outside vendor must be contracted for the needed repairs to the transmission and suspension. Estimated cost for those repairs is \$2,000 to \$3,000. To fix the rust on the hood, driver's door, rear corner panel, rocker panel and rims would be anywhere from \$3,000 to \$5,000 and that is with no guarantee that the rust will not return. Finally, to repair the driver's seat, door locks and clean the interior would cost about \$700 to \$800.

As the total cost of repairs, exclusive of maintenance due to rust, will exceed the estimated auction value of \$4,000 for the 2005 Ford Explorer, we recommend the replacement of this vehicle at this time.

We wish to replace the vehicle with a current model Ford Explorer. The Ford Explorer is a very functional vehicle for the Investigations Unit. Officers assigned to this division serve as the Police Department's Crime Scene Investigators/Evidence Technicians. The Ford Explorer, unlike the

Chevrolet Caprice used by the Patrol Division, has sufficient capacity to store and conveniently access crime scene processing equipment. This vehicle's four-wheel drive capability allows the officer to maneuver in off-road conditions and during inclement weather. This vehicle can also be used by the Patrol Division when necessary.

Based on this recommendation to replace the 2005 Ford Explorer at this time, staff obtained pricing for a 2015 Ford Explorer from the Northwest Municipal Conference (NWMC) Purchasing Cooperative. The low bid for this vehicle through the NWMC Purchasing Cooperative was provided by Bredemann Ford in Glenview, IL in the amount of \$23,976.

The purchase of the vehicle through the NWMC Purchasing Cooperative and the budget for the replacement of the 2005 Ford Explorer is as follows:

REPLACEMENT COST	
2015 Ford Explorer (NWMC) Standard Package	\$23,976.00
XLT 4WD	1,780.00
License & Title	120.00
Rustproofing	345.00
Equipment change-over costs	1,627.20
Estimated Auction Value	(4,000)
Total Cost	\$ 23,848.20
FUNDING SOURCE	
FY 2014-15 Equipment Replacement Fund	\$ 25,000

As noted in the chart above, the net total expense for the replacement vehicle is \$1,152 under the budgeted amount of \$25,000. We recommend that the existing 2005 Ford Explorer be sold through the on-line auction website E-bay. Based on the Village's past experience, higher values are received for vehicles and equipment through this process as compared to local auction houses.

We recommend that the Village Board authorize the purchase of a 2015 Ford Explorer from Bredemann Ford of Glenview, Illinois, in the amount of \$26,221.

If approved, we anticipate delivery of the vehicle within three months from the date of order.

4-A, 1

VILLAGE OF LA GRANGE
Administrative Offices

BOARD REPORT

TO: Village President, Village Clerk,
Board of Trustees and Village Attorney

FROM: Robert J. Pilipiszyn, Village Manager
Patrick D. Benjamin, Community Development Director

DATE: November 24, 2014

RE: **MAP AMENDMENT — SHORT TERM PARKING SPACE/LOADING
ZONES WITHIN THE CENTRAL BUSINESS DISTRICT/ 0-100 BLOCK
OF W. CALENDAR AVENUE**

In October 2006, the Village Board approved an ordinance amending the Village Code of Ordinances to establish short-term parking spaces within the Central Business District. In accordance with the *2003 Central Business District Parking Study*, spaces at the end of each block were identified as the most suitable location for designating short-term parking opportunities. The reasons for locating short-term parking spaces at block ends is to: (1) evenly distribute these spaces; (2) easily communicate this parking enhancement to shoppers; and (3) efficient parking enforcement. The Village is authorized to maintain short-term parking spaces in the Central Business District in number and locations as depicted on a short-term parking map; an accurate copy of which is to be kept on file at the Office of the Village Clerk. The number and location of such short-term parking spaces may be modified by the Board of Trustees from time to time.

We recently received a request from Aurelio's Pizza (11 W. Calendar Avenue) requesting two additional 15-minute parking spaces in front of the restaurant on Calendar Avenue to help facilitate restaurant carry-out business in the area.

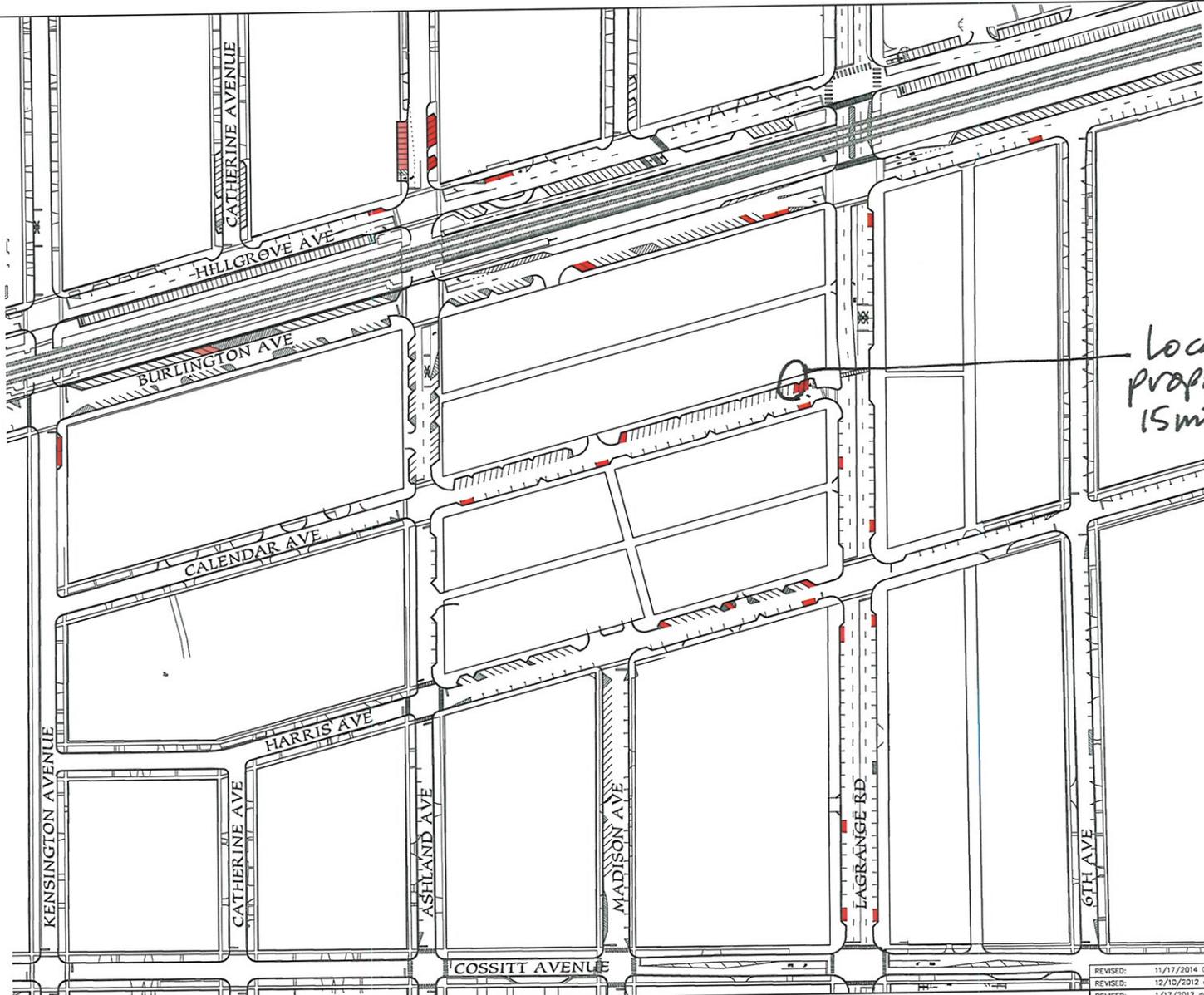
After study and review by the Village management team, staff recommends that two additional 15-minute spaces be added next to the existing 15-minute space on the north side of Calendar Avenue, closest to La Grange Road. Staff can confirm that we currently have issues with vehicles that temporarily double park when patronizing businesses for short-term reasons such as for banking at Chase and restaurant carry outs in the area. Adding two additional 15-minute spaces on this end of the block is consistent with additional 15-minute spaces that were added to the east end of Burlington Avenue, west of La Grange Road, because of similar conditions.

We recommend the Village Board approve the creation of two additional 15-minute parking spaces on the north side of Calendar Avenue just west of La Grange Road as depicted on the attached short term parking map exhibit.

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Short_Term_Parking_Zones.dwg LG_Short_Term_Parking 11/17/2014 2:55:55 PM

4-B.1



ON-STREET PARKING LEGEND			
CLASS	RESTRICTION	COLOR	STALLS
<1 HOUR	15-MINUTE	[Red Box]	35
	30-MINUTE	[Red Box]	11
			46

Location of proposed 2-15 minute parking spaces, as marked in red.

HEUER AND ASSOCIATES
Consulting Engineers

2315 Enterprise Drive - Suite 102 Westchester, IL 60154-5811 708-492-1000

VILLAGE OF LA GRANGE
CENTRAL BUSINESS DISTRICT

SHORT-TERM PARKING ZONES
AMMENDED NOVEMBER 17, 2014

REVISED:	11/17/2014	CGT
REVISED:	12/15/2012	dwp
REVISED:	1/17/2012	dwp
REVISED:	8/03/2011	dwp
REVISED:	4/29/2010	dwp
REVISED:	9/4/2009	dwp
REVISED:	5/6/2009	

11"=17" SCALE: 1"=18"
DRAWN BY: dwp
CHECKED BY: H&A
PROJECT NO.: 2008.002
DATE: 10/06/2006

SHEET
1
OF
1

VILLAGE OF LA GRANGE
Police Department

BOARD REPORT

TO: Village President, Village Clerk,
Board of Trustees and Village Attorney

FROM: Robert J. Pilipiszyn, Village Manager and
Michael A. Holub, Chief of Police

DATE: November 24, 2014

RE: **ORDINANCE – DISPOSAL OF SURPLUS PROPERTY / MISCELLANEOUS
PERSONAL PROPERTY AND EVIDENCE**

The Police Department routinely becomes the custodian of a wide variety of property that is lost, mislaid, abandoned, forfeited, or of no further evidentiary value. As the Police Department currently has a number of such items, it would be appropriate at this time to dispose of these items as surplus property.

State law allows the Village to sell or dispose of surplus property in a manner that is best for the Village. All unclaimed/recovered property is disposed of in compliance with the Illinois State Statutes, which requires property to be held for at least six (6) months and after all reasonable efforts have been made to return the property to the rightful owner.

This property disposal request consists of sixty four (64) miscellaneous items of personal property and evidence that have been held for various reasons over the years by the Police Department. All statute of limitations have expired and/or sentences have been completed for the related evidence in the appendix. Other property included in the appendix has no known owner, was turned in for destruction by the owner, or the owner has failed to respond to the Department's attempts to return their property. The attached list details an inventory of property to be destroyed, auctioned, or transferred to department use upon approval by the Village Board.

We recommend that the Village Board authorize the La Grange Police Department to dispose of the items as per the attached ordinance.

VILLAGE OF LA GRANGE

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING DISPOSAL OF PERSONAL PROPERTY OWNED BY THE VILLAGE OF LA GRANGE

WHEREAS, in the opinion of the corporate authorities of the Village Of La Grange, it is no longer necessary, useful, or in the best interests of the Village to retain ownership of the personal property described in this Ordinance; and

WHEREAS, it has been determined by the President and the Board of Trustees of the Village of La Grange to dispose of said personal property in the manner described in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of La Grange, Cook County and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are hereby incorporated into this Ordinance as findings of the President and Board of Trustees.

Section 2. Disposal of Surplus Property. The President and Board of Trustees find that the personal property described in Exhibit A attached to this Ordinance and by this reference incorporated into this Ordinance (the "Surplus Property") is no longer necessary or useful to the Village, and thus the Village Manager for the Village of La Grange is hereby authorized to direct the sale or disposal of the Surplus Property in the manner most appropriate to the Village. The Surplus Property shall be sold or disposed of in "as is" condition.

Section 3. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 2014.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this ____ day of _____ 2014.

By: _____
Thomas Livingston, Village President

ATTEST:

John Burns, Village Clerk

4-C.1

Property/Inventory

VILLAGE OF LA GRANGE
POLICE DEPARTMENT

Exhibit A - Appendix

	CASE #	OFFENSE	DATE	EXP DATE	ITEM#	DESCRIPTION	DISPO
1	02-6-13	Burg-R	04/14/02	04/14/05	1	Check Book	Prep For Dest
2					2	Shoe Box	Prep For Dest
3					3	Envelope	Prep For Dest
4					4-5	Shoe Box	Prep For Dest
5					6	Plastic Bag	Prep For Dest
6					7-9	Elim Prints	Prep For Dest
7	02-6-55	Burg-C	11/01/02	11/01/05	3	Cash Drawer	Prep For Dest
8					14	Cash Register Key	Prep For Dest
9					15	Cash Register Till	Prep For Dest
10	04-6-35	Burg-R	08/07/04	08/07/07	3	Metal Container	Prep For Dest
11					3A	Latent Print	Prep For Dest
12					4	Check Box	Prep For Dest
13					5	File Folder	Prep For Dest
14					6	Metal Container	Prep For Dest
15					7	Photo Album Box	Prep For Dest
16					8	Plastic Container	Prep For Dest
17					9	Coin Purse	Prep For Dest
18					10	Plastic Cover	Prep For Dest
19					11	Cardboard Box	Prep For Dest
20					12	Watch Box	Prep For Dest
21					13-14	Jewelry Box	Prep For Dest
22					15	Watch Box	Prep For Dest
23					17	Elim Prints	Prep For Dest
24	00-1-17	Death Inv	11/07/00	11/07/03	3	Curtain	Prep For Dest
25					5	Nightgown/Shirt	Prep For Dest
26	01-6-53	Burg-C	12/24/01	12/24/04	1	Latent Prints	Prep For Dest
27					2	Metal Box w/Tray	Prep For Dest
28					3-4	Elim Prints	Prep For Dest
29	04-18-7	Disorderly Cond	03/11/04	09/11/05	2	Letters	Prep For Dest
30	2006-02768	Dom Batt	03/16/06	09/16/07	1	Shirt	Prep For Dest
31	2006-08666	Dom Batt	08/06/06	11/06/07	1	Purse Strap	Prep For Dest
32					2	USC Coins \$.66	Prep For Seizure
33					3	Cigarettes	Prep For Dest
34					4	Knife	Prep For Dest
35					5	Photos	Prep For Dest
36	2006-09267	Burg-R	08/21/06	08/21/09	1-6	Latent Prints	Prep For Dest
37					10	Elim Prints	Prep For Dest
38					11-12	Latent Prints	Prep For Dest
39					13	Box	Prep For Dest
40					14	Plastic Bag	Prep For Dest
41	00-6-36	Burg-C	12/09/00	12/09/00	1	Envelope & Latents	Prep For Dest
42					2	Deposit Bag	Prep For Dest
43	01-3-1	Armed Robbery	01/08/01	01/08/04	1-3	VHS Tape	Prep For Dest
44	01-6-3	Burg-C	01/30/01	01/30/04	1-3	Tool Impression	Prep For Dest
45					4-6	Paint Standard	Prep For Dest
46					7	Handle & Latent	Prep For Dest

Property/Inventory

VILLAGE OF LA GRANGE
POLICE DEPARTMENT

Exhibit A - Appendix

47					8	Pen w/ case	Prep For Dest
48	01-9-1	Stolen Veh	01/04/01	01/04/04	1	Hair Fibers	Prep For Dest
49					1A	Surveillance Tape	Prep For Dest
50					2	Beer Can	Prep For Dest
51	03-6-71	Burg-R	07/27/03	07/27/06	1	Latent Prints	Prep For Dest
52					2-4	Elim Prints	Prep For Dest
53	05-6-46	Burg-R	12/25/05	12/25/08	1-2	Ring Box	Prep For Dest
54					3	Jewery Box	Prep For Dest
55					4	Metal Box	Prep For Dest
56					5-6	Box Top	Prep For Dest
57					7	Jewery Box	Prep For Dest
58					8-9	Elim Prints	Prep For Dest
59	2006-01745	Turned In Prop	02/15/06	08/15/06	1	Tee Shirt	Prep For Dest
60					2	Notebook Cover	Prep For Dest
61	2007-07767	Theft	07/21/07	10/21/08	1	Hammer	Prep For Dest
62	2007-11985	Burg-M/V	11/10/07	11/10/13	1-4	Auto Part	Prep For Dest
63					5-11	Latent Prints	Prep For Dest
64					12	Elim Prints	Prep For Dest
65							
66							
67							
68							
69							

MINUTES

VILLAGE OF LA GRANGE
BOARD OF TRUSTEES REGULAR MEETING

Village Hall Auditorium
53 South La Grange Road
La Grange, IL 60525

Monday, November 10, 2014 - 7:30 p.m.

1. CALL TO ORDER, ROLL CALL, PLEDGE OF ALLEGIANCE

The Board of Trustees of the Village of La Grange regular meeting was called to order at 7:30 p.m. by President Livingston. On roll call, as read by Village Clerk John Burns, the following were present:

PRESENT: Trustees Holder, Kuchler, Langan, McCarty, Nowak and Palermo with President Livingston presiding.

ABSENT: None

OTHERS: Village Manager Robert Pilipiszyn
Assistant Village Manager Andrianna Peterson
Village Attorney Mark Burkland
Finance Director Lou Cipparrone
Community Development Director Patrick Benjamin
Assistant Community Development Director and Planner Angela Mesaros
Public Works Director Ryan Gillingham
Fire Chief Donald Gay
Deputy Police Chief Renee Strasser

President Livingston requested Village Clerk John Burns announce who will be leading the Pledge of Allegiance this evening. Clerk Burns indicated that Girl Scout Junior Troop #50167 from Cossitt School is in attendance. Clerk Burns introduced Leaders Carrie Jenke, Lara Taylor Lanspeary, Tina Happel and Girl Scouts Jenna Jenke, Ella Lanspeary, Ella Federle, Ella Happel, Merritt Schneider, Kamryn Lee Karachi, Cami Menguy, Natalie Dybas, Opal Gibbons, Mellina Fedoruk, Heidi Scheuermann, Madeline Grayson, Sofia Djurisc, Kelsey Murdoch and requested they come forward to lead the audience in reciting the Pledge of Allegiance.

2. PRESIDENT'S REPORT

President Livingston expressed gratitude to Veterans and the Robert E. Coulter Jr. American Legion for remembrance of those men and women who served our country.

President Livingston congratulated Clerk Burns in pursuing attraction signage relative to La Grange's historic downtown.

For the 20th consecutive year, the Village of La Grange has received the Government Finance Officers Association (GOFA) Distinguished Budget Presentation Award for its Fiscal Year 2014-15 Budget document. President Livingston offered congratulations to Finance Director Lou Cipparrone and Assistant Finance Director Joe Munizza for their efforts in preparation of the document.

President Livingston announced that Police Chief Mike Holub has indicated he will be retiring at the end of this calendar year. Noting that Chief Holub has served for nearly 12 years, President Livingston commented on his numerous contributions to the Police Department.

3. PUBLIC COMMENTS REGARDING AGENDA ITEMS

Although opposed to the project, Jean Kane who resides at 1 North Beacon Place is hopeful that if the development is approved the Board will take into consideration how increased traffic may impact Beacon Place residents. Ms. Kane expressed grave concerns related to a proposed traffic signal at Ogden Avenue and Locust Avenue. President Livingston thanked Ms. Kane for her comments and noted open communication will continue with residents of Beacon Place.

Don Johnson, 240 S. La Grange Road expressed his concerns related to density of the development and additional traffic impacts. Mr. Johnson inquired if a traffic study had been completed and Public Works Director Ryan Gillingham responded affirmatively. President Livingston noted that both IDOT and the traffic study completed by KLOA warranted a traffic signal for the intersection.

4. OMNIBUS AGENDA AND VOTE

- A. Ordinance (#O-14-36) — Variations – Second Floor Business Wall Signs at 405-415 Shawmut Avenue, LSC Development
- B. (Moved to Current Business for further discussion.)
- C. (Moved to Current Business for further discussion.)
- D. Cossitt Avenue Resurfacing Project from Gilbert Avenue to Brainard Avenue:
(1) Construction Engineering Services Agreement for Federal Participation;
(2) Construction Engineering Task Order; (3) Local Agency Agreement for Federal Participation.
- E. Ordinance (#O-14-39) – Disposal of Surplus Property / Miscellaneous Personal Property and Evidence

F. Minutes of the Village of La Grange Board of Trustees Regular Meeting,
Monday, October 27, 2014

G. Consolidated Voucher 141110 (\$1,270,292.15)

Trustee Kuchler requested items 4-B and 4-C be removed from the Omnibus Agenda and placed under Current Business for further discussion.

It was moved by Trustee Langan to approve items A, D, E, F, and G of the Omnibus Agenda, seconded by Trustee Holder.

Trustee Holder inquired if only wall signs were being approved on the 405 Shawmut Avenue item and Community Development Director Patrick Benjamin responded affirmatively.

President Livingston thanked LSC Development for investing in La Grange.

Approved by a 6 to 0 roll call vote.

Ayes: Trustees Kuchler, McCarty, Nowak, Palermo Holder and Langan

Nays: None

Absent: None

5. CURRENT BUSINESS

4-B. Ordinance (#O-14-37) — Creating an Additional Class A-2 Liquor License, Run Around Sue, Inc. d/b/a Adele's Front Room, 13 S. La Grange Road

Trustee Kuchler noted his favor for this type of restaurant concept and invited the liquor applicant Mr. Brian Carroll to provide additional information. Mr. Carroll indicated the business concept will focus on piano music with assorted foods served on small plates.

Trustee Kuchler moved to approve the ordinance creating an additional Class A-2 Liquor License for Run Around Sue, Inc. d/b/a Adele's Front Room, seconded by Trustee Langan.

Approved by a 6 to 0 roll call vote.

Ayes: Trustees Holder, Kuchler, Langan, McCarty, Nowak and Palermo

Nays: None

Absent: None

4-C. Ordinance (#O-14-38) — Creating a Class B Liquor License, Raheel & Reyna Corporation d/b/a 7-Eleven, 6 East 47th Street

Trustee Kuchler noted the applicant's previous experience and invited Mr. Patel to comment. Mr. Patel advised of his successful operations in other locations and is hoping to maintain that success in La Grange.

Trustee Kuchler moved to approve the ordinance creating an additional Class B Liquor License for Raheel & Reyna Corporation d/b/a 7-Eleven, seconded by Trustee Langan.

Approved by a 6 to 0 roll call vote.

Ayes: Trustees Palermo, Nowak, McCarty, Langan, Holder and Kuchler
Nays: None
Absent: None

- A. Ordinance (#O-14-40) – Zoning and Design Approvals for Proposed Development of Former YMCA Property with Apartment and Retail Buildings, Ogden Avenue at La Grange Road, Opus Development Company, LLC: Referred to Trustee McCarty

Trustee McCarty noted the numerous public meeting discussions regarding this project. Trustee McCarty provided the primary issues yet to be addressed which included financial participation by Opus in the cost of the traffic signal at Ogden Avenue and Locust Avenue; agreement on a final Project Declaration; and possible reduction in Zoning Code modifications.

Trustee McCarty indicated that Opus has agreed to contribute a lump sum towards the signalization; has agreed to revisions in the Project Declaration; however is unable to further reduce Zoning Code modifications.

Trustee McCarty listed the numerous compensating amenities to be provided by the developer and described the protections addressed by Village Attorney Burkland and key provisions of the development agreement.

Trustee McCarty moved to approve an ordinance approving development of property at the Northeast corner of the intersection of La Grange Road and Ogden Avenue which approves: a conditional rezoning of portions of the former YMCA property into the C-3 General Service Commercial District from the OS Open Space District; a special use permit for a planned development; site plan approval; design review approval for the proposed apartment building; planned development concept plans and final plans; modifications to specific provisions of the La Grange Zoning Code to authorize construction of the project as presented; and numerous conditions applicable to the various approvals, those being signing and delivering a development agreement in the form attached to the Ordinance along with its numerous exhibits; submitting final plans and specifications

consistent with the submitted preliminary plans and specifications; and all as provided in the Ordinance, seconded by Trustee Holder

Trustee Langan sought clarification concerning the sequence of construction and the \$300,000 payment towards the traffic signal. Village Attorney Burkland noted his confidence that all protections for the Village are addressed in the documentation.

Trustee Kuchler reiterated his opposition to the development project specifically noting his safety concerns related to traffic ingress and egress to the project.

Advising his favor for the project, Trustee McCarty feels the market demographic for this project is vital to the Village's economic growth. He too has concerns about the traffic signal and suggested that the Village proceed cautiously.

Trustee Palermo will not support this item as he continues to have concerns with density and number of variances for this development project.

Trustee Holder concurs with Trustee McCarty concerning the rental market and noted his favor of this high quality rental development. Trustee Holder also commented that the PUD process worked as intended.

Adding his support for the development project, Trustee Nowak noted the importance for a high quality rental product.

Trustee Langan explained the development agreement changes and the protections afforded to the Village which have led him to now support the project. Trustee Langan feels the traffic signalization is mandated.

Approved by a 4 to 2 roll call vote.

Ayes:	Trustees Nowak, Langan, Holder and McCarty
Nays:	Trustees Kuchler and Palermo
Absent:	None

President Livingston noted this project as a partnership and journey for economic growth. Thanking Opus for investing in La Grange, President Livingston noted both opposition and support are taken seriously. President Livingston advised that this project is also a partnership between the Village and the business community by generating new consumers and that it will be a partnership among members of the Village Board to work with the residents of Beacon Place to address their concerns..

- B. La Grange Business Association 2014 Hometown Holiday Walk Request for Village Sponsorship: Referred to Trustee Kuchler

4-0-4

Trustee Kuchler explained that the December 6, 2014 Hometown Holiday Walk has always been a positive reflection of the Village of La Grange and brings shoppers into the community. The La Grange Business Association is requesting the Village co-sponsor this annual event in an amount not to exceed \$12,000. Trustee Kuchler added that the Village's position of sponsorship is marketing the event, which includes newspaper advertisements, posters, the production and mailing of the brochure describing the activities for the evening.

Trustee Kuchler listed the conditions outlined in the sponsorship policy and noted that approval would include compliance to those conditions. As marketing expenses have increased, Trustee Kuchler noted the La Grange Business Association is seeking additional financial support from the Village for next year.

It was moved by Trustee Kuchler to support the Hometown Holiday Walk's cost of advertising and marketing for 2014 in an amount not to exceed \$12,000, with the conditions as outlined in the Village's sponsorship policy, seconded by Trustee Langan.

Approved by 6 to 0 roll call vote.

Ayes: Trustees Holder, Palermo, McCarty, Nowak, Langan and Kuchler
Nays: None
Absent: None

Mr. Phil Forano, President Elect of the La Grange Business Association expressed his thanks to the Village for their support.

C. Preliminary Review of the Proposed 2014 Property Tax Levy Request: Referred to Trustee Nowak

Trustee Nowak stated that this is a preliminary review of the proposed 2014 property tax levy request and explained that the Truth in Taxation Law requires a preliminary review of the proposed tax levy at least 20 days prior to its adoption. If the aggregate levy is more than 5% greater than the preceding year's extension, exclusive of debt service, the Village must hold a public hearing before adopting the proposed property tax levy. Since the proposed Truth in Taxation levy request, excluding debt service shows a total increase of 2.84% over the prior years' extension, the Village of La Grange is not required to hold a public hearing regarding the 2014 property tax levy.

Trustee Nowak indicated the Property Tax Limitation Act limits the increase in property tax extensions, exclusive of debt service and new property growth to 5% or the percent increase of the National Consumer Price Index (CPI) whichever is less. The CPI for the 2014 tax levy determined as of December 2013 was 1.5%

Trustee Nowak presented information on the General Fund levy; Pension levies; and the Special Service Area levy. Trustee Nowak indicated the Police and Fire pension levies reflect the annual required contributions based upon independent actuarial valuations of each fund for the year ended April 30, 2014. Adding that the Village has received letters from both the Police and Fire Pension Fund Boards to levy funds based upon the independent actuarial valuations, Trustee Nowak indicated the Pension Boards did not discuss or consider any changes in the assumed ages of spouses, therefore no change in the required contributions.

Trustee Nowak added that the La Grange Public Library is a municipal library not a library district therefore the library levy is a part of the Village levy. The Library's tax levy request represents an increase of 2.84% over the 2013 property tax levy extension.

Indicating that the Village is announcing the 2014 preliminary tax levy, Trustee Nowak stated that the ordinance adopting the 2014 tax levy will be presented at the upcoming December 8, 2014 Village Board meeting.

It was moved by Trustee Nowak that the Village Board approve the Resolution announcing the estimated 2014 tax levy of \$8,716,668 exclusive of debt service, which is a 2.84% increase from the 2013 tax levy, seconded by Trustee Langan.

President Livingston commented on the budget process. Two budgets will be prepared; one as a maintenance budget and the other will require voter approval in the form of a referendum for an increase in the Village's non-home rule sales tax. If the referendum is approved, the revenues to be generated will be used for capital needs, restoring funding for public safety, and economic development in a post-TIF era. President Livingston indicated that details regarding these proposed revenues and expenditures would be discussed at the next Board meeting.

Approved by 6 to 0 roll call vote.

Ayes:	Trustees McCarty, Kuchler, Holder, Palermo, Langan and Nowak
Nays:	None
Absent:	None

6. MANAGER'S REPORT

None

7. PUBLIC COMMENTS REGARDING MATTERS NOT ON AGENDA

Trish Shell expressed safety concerns for children crossing at Bell and Catherine Avenues. Ms. Shell feels her outcry for additional signage has gone unnoticed. President Livingston noted that staff would review her concerns.

Jeannine McLaughlin acknowledged Village Clerk Burns for his efforts in pursuing signage marketing La Grange. Ms. McLaughlin also advised of a publication to honor World War II Veterans. President Livingston thanked her for providing the information.

Jim Boo provided a list of reasons in opposition to the expansion of the Park District Recreation Center. President Livingston explained that grant funding for the expansion was issued to the Park District and not the Village of La Grange. As the Park District was not receptive to his comments, Mr. Boo indicated his desire to inform the Village Board.

Steve Palmer encouraged the audience to attend the Robert E. Coulter, Jr. American Legion Post event to honor Veterans.

8. EXECUTIVE SESSION

None

9. TRUSTEE COMMENTS

Trustee Kuchler expressed his gratitude to all Veterans. Acknowledging former St. Francis teacher Ms. Shell, Trustee Kuchler shares her concerns for safety.

Trustee Palermo concurred with safety concerns expressed by Ms. Shell and is hopeful additional signage will be forthcoming.

Trustee Langan extended congratulations to former Village Trustee Richard Cremieux for his recent honor.

10. ADJOURNMENT

At 9:00 p.m. Trustee Langan moved to adjourn, seconded by Trustee Kuchler. Motion approved by voice vote.

Thomas E. Livingston, Village President

ATTEST:

John Burns, Village Clerk

Approved Date:

VILLAGE OF LA GRANGE

Disbursement Approval by Fund

November 24, 2014

Consolidated Voucher 141124

<u>Fund No.</u>	<u>Fund Name</u>	<u>11/24/14 Voucher</u>	<u>11/21/14 Payroll</u>	<u>Total</u>
01	General	108,468.56	306,053.33	414,521.89
21	Motor Fuel Tax			0.00
22	Foreign Fire Insurance Tax	97.04		97.04
24	ETSB	21,473.71		21,473.71
27	Drug Enforcement	650.00		650.00
40	Capital Projects	252.71		252.71
50	Water	14,078.49	41,120.83	55,199.32
51	Parking	2,228.03	25,474.92	27,702.95
60	Equipment Replacement			0.00
70	Police Pension			0.00
75	Firefighters' Pension			0.00
80	Sewer	1,433.79	10,012.92	11,446.71
90	Debt Service			0.00
		<u>148,682.33</u>	<u>382,662.00</u>	<u>531,344.33</u>

We the undersigned Manager and Clerk of the Village of La Grange hereby certify that, to the best of our knowledge and belief, the foregoing items are true and proper charges against the Village and hereby approve their payment.

Village Manager

Village Clerk

President

Trustee

Trustee

Trustee

Trustee

Trustee

Trustee

DATE: 11/19/14
TIME: 15:50:15
ID: AP222000.WOW

VILLAGE OF LA GRANGE
MANUAL PRE-CHECK RUN EDIT

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM # DESCRIPTION	CHECK DATE	ACCOUNT #	ITEM AMT
131037	DAR7550	DARIEN-WOODRIDGE FIRE		11/07/14		
	141106	11/06/14	01 VNR CHECK/WRONG VENDOR		01-09-60-6020	50.00
					INVOICE TOTAL:	50.00 *
					CHECK TOTAL:	50.00
131038	MAB7010	MABAS DIVISION 10		11/10/14		
	141106-2	11/06/14	01 TRAINING SEMINAR/SIBLE;CRAMER		01-09-60-6020	50.00
					INVOICE TOTAL:	50.00 *
					CHECK TOTAL:	50.00
					TOTAL AMOUNT PAID:	100.00

4-5.1

DATE: 11/19/14
TIME: 15:50:53
ID: AP223000.WOW

VILLAGE OF LA GRANGE
DISTRIBUTION JOURNAL --- MANUAL CHECKS AP-111914

PAGE: 1
F-YR: 15

JOURNAL DATE: 11/19/14

ACCOUNTING PERIOD: 07

ITEM	ACCOUNT #	ACCOUNT DESCRIPTION	VENDOR	INVOICE	TRANSACTION DESCRIPTION	DEBIT AMT	CREDIT AMT
GENERAL FUND							
01	01-09-60-6020	TRAINING & MEMBERSHIP	DAR7550	141106	VNR CHECK/WRONG VENDOR	50.00	
02	01-09-60-6020	TRAINING & MEMBERSHIP	MAB7010	141106-2	TRAINING SEMINAR/SIBLE;CRAMER	50.00	
03	01-00-00-1010	CASH-FNBLG-CHECKING			ACCOUNTS PAYABLE OFFSET		100.00
TOTALS:						100.00	100.00

H-E.2

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131039	AIR8025	AIRGAS NORTH CENTRAL					
	9922806942	10/31/14	01	ACETYLENE;AIR;ARGON;OXYGEN/SHO	01-11-62-6220		92.28
						INVOICE TOTAL:	92.28 *
						CHECK TOTAL:	92.28
131040	ALB24	CHRISTINE ALBANO					
	141015	10/15/14	01	2014 HALLOWEEN WALK PROMO PKG	01-06-62-6239		300.00
						INVOICE TOTAL:	300.00 *
						CHECK TOTAL:	300.00
131041	ALL9001	ALLIED WASTE SERVICE					
	0551-011232785	10/31/14	01	DUMPSTER/FD OPEN HOUSE	01-09-62-6250		270.00
						INVOICE TOTAL:	270.00 *
						CHECK TOTAL:	270.00
131042	ALP417	ALBERT C SCHNELL DBA					
	72701	10/28/14	01	VLG SPOKESMAN NOV-DEC 2014	01-12-68-6860		1,113.59
						INVOICE TOTAL:	1,113.59 *
						CHECK TOTAL:	1,113.59
131043	AM8623	A & M PARTS INC					
	475862	10/22/14	01	BRAKE PADS;ROTORS/#526	01-07-62-6220		272.37
						INVOICE TOTAL:	272.37 *
	476066	10/23/14	01	DISC PAD/#523	01-07-62-6220		100.91
						INVOICE TOTAL:	100.91 *
	476148	10/24/14	01	HUBLESS ROTOR/#526	01-07-62-6220		60.00
						INVOICE TOTAL:	60.00 *

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131043	AM8623	A & M PARTS INC					
	477192	10/30/14	01	4 HEADLIGHT BULBS	51-00-62-6220		27.96
						INVOICE TOTAL:	27.96 *
	478606	11/07/14	01	ELEC CONTACT CLN;S/L	01-11-62-6223		22.88
						INVOICE TOTAL:	22.88 *
						CHECK TOTAL:	484.12
131044	AND6006	ANDERSON PEST CONTROL					
	3129306	11/01/14	01	NOV 2014 SERVICES	01-06-62-6230		66.00
						INVOICE TOTAL:	66.00 *
						CHECK TOTAL:	66.00
131045	ANDRIES	TIM ANDRIES					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131046	APP9729	APPLIED CONCEPTS, INC					
	261422	11/05/14	01	REPL RADAR UNIT	01-07-66-6600		1,369.00
						INVOICE TOTAL:	1,369.00 *
						CHECK TOTAL:	1,369.00
131047	ARA2525	ARAMARK UNIFORM SERVICES					
	2078752108	10/17/14	01	10/17/14 UNIFORM SERVICE	01-11-60-6021		62.32
			02	10/14/14 UNIFORM SERVICE	50-00-60-6021		40.80

4-E.3

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131047	ARA2525	ARAMARK UNIFORM SERVICES						
	2078752108	10/17/14	03	10/14/14 UNIFORM SERVICE	80-00-60-6021		10.20	
			04	FLOOR MATS/TRAIN STATION	51-00-62-6225		11.00	
			05	FLOOR MATS/PARKING DECK	51-00-62-6280		5.50	
				INVOICE TOTAL:			129.82 *	
	2078780204	11/07/14	01	MATS	01-10-62-6221		34.73	
				INVOICE TOTAL:			34.73 *	
	2078780333	11/07/14	01	11/7/14 UNIFORM SERVICE	01-11-60-6021		62.32	
			02	11/7/14 UNIFORM SERVICE	50-00-60-6021		40.80	
			03	11/7/14 UNIFORM SERVICE	80-00-60-6021		10.20	
			04	FLOOR MATS/TRAIN STATION	51-00-62-6225		11.00	
			05	FLOOR MATS/PARKING DECK	51-00-62-6280		5.50	
				INVOICE TOTAL:			129.82 *	
	*** VOID---LEADER CHECK ***							
131048	ARA2525	ARAMARK UNIFORM SERVICES						
	2078789918	11/14/14	01	11/14/14 UNIFORM SERVICE	01-11-60-6021		62.32	
			02	11/14/14 UNIFORM SERVICE	50-00-60-6021		40.80	
			03	11/14/14 UNIFORM SERVICE	80-00-60-6021		10.20	
			04	FLOOR MATS/TRAIN STN	51-00-62-6225		11.00	
			05	FLOOR MATS/PARKING DECK	51-00-62-6280		5.50	
				INVOICE TOTAL:			129.82 *	
				CHECK TOTAL:			424.19	
131049	ATT	A T & T						
	14/708579068711	11/01/14	01	NOV 3 LINE SYS:579-0687	01-07-62-6210		197.60	
				INVOICE TOTAL:			197.60 *	
				CHECK TOTAL:			197.60	
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***							

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131050	ATT	A T & T						
	14/708579108511	11/01/14	01	NOV FAX LINE 579-1085	01-07-62-6210		65.93	
				INVOICE TOTAL:			65.93 *	
				CHECK TOTAL:			65.93	
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***							
131051	ATT	A T & T						
	14/708579139411	11/01/14	01	NOV INVEST FAX LINE 579-1394	01-07-62-6210		71.59	
				INVOICE TOTAL:			71.59 *	
				CHECK TOTAL:			71.59	
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***							
131052	ATT	A T & T						
	14/708579230011	11/01/14	01	NOV SHARE/CENTREX SYS:579-2300	01-02-62-6210		465.75	
			02	NOV SHARE/CENTREX SYS:579-2300	01-03-62-6210		634.97	
			03	NOV SHARE/CENTREX SYS:579-2300	01-06-62-6210		351.45	
			04	NOV SHARE/CENTREX SYS:579-2300	01-07-62-6210		643.06	
			05	NOV SHARE/CENTREX SYS:579-2300	01-09-62-6210		401.82	
			06	NOV SHARE/CENTREX SYS:579-2300	01-11-62-6210		140.02	
			07	NOV SHARE/CENTREX SYS:579-2300	50-00-62-6210		280.05	
			08	NOV SHARE/CENTREX SYS:579-2300	80-00-62-6210		140.01	
				INVOICE TOTAL:			3,057.13 *	
				CHECK TOTAL:			3,057.13	
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***							
131053	ATT	A T & T						
	14/708579263111	11/01/14	01	NOV GAR/ELEV SEC LINE 579-2631	51-00-62-6210		130.22	
				INVOICE TOTAL:			130.22 *	
				CHECK TOTAL:			130.22	
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***							

4 - E.4

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131054	ATT 14/708579974711	A T & T 11/01/14	01	NOV FAX/MODEM LINE 579-9747	01-09-62-6210		130.49 INVOICE TOTAL: 130.49 *
							CHECK TOTAL: 130.49
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131055	ATT9009 IL817923	AT&T GLOBAL SERVICES INC 10/29/14	01	2015 MAINTENANCE	24-00-62-6220		12,618.79 INVOICE TOTAL: 12,618.79 *
							CHECK TOTAL: 12,618.79
131056	ATT911 14/847734606011	A T & T 11/07/14	01	NOV E911 LINE SVC:847 734-6060	24-00-62-6210		1,363.56 INVOICE TOTAL: 1,363.56 *
							CHECK TOTAL: 1,363.56
							CHECK TOTAL: 211.36
							CHECK TOTAL: 211.36 *
							CHECK TOTAL: 1,574.92
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131057	BALON 2014	CRAIG BALON 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 INVOICE TOTAL: 150.00 *
							CHECK TOTAL: 150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131058	BERG 2014	ERIK BERG 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 INVOICE TOTAL: 150.00 *
							CHECK TOTAL: 150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131059	BOU2353 81583699	BOUND TREE MEDICAL LLC 10/23/14	01	GLOVES;ETC	01-09-62-6253		200.54 INVOICE TOTAL: 200.54 *
							CHECK TOTAL: 24.09
							CHECK TOTAL: 24.09 *
							CHECK TOTAL: 61.96
							CHECK TOTAL: 61.96 *
							CHECK TOTAL: 321.52
							CHECK TOTAL: 321.52 *
							CHECK TOTAL: 608.11
131060	BP7088 14/11	BP 11/15/14	01	NOV GAS CHARGES	01-11-61-6102		42.50 INVOICE TOTAL: 42.50 *
							CHECK TOTAL: 42.50
131061	BRO9545 14/10	BROOKFIELD EXPRESS 10/31/14	01	OCT WASHES	01-07-62-6220		180.00 INVOICE TOTAL: 180.00 *
							CHECK TOTAL: 180.00
131062	BUI444 5665	BUILDING ENGINEERING SYSTEMS 11/03/14	01	DESIGN;CONSTR ENG/PD BOILER	01-10-66-6660		4,000.00 INVOICE TOTAL: 4,000.00 *
							CHECK TOTAL: 4,000.00

4-E.5

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131063	BURRELL 2014	JULIE BURRELL 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	150.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131064	CAN1500 4014317022	CANON BUSINESS SOLUTIONS-CNTRL 11/01/14	01	NOV COPIER MTC	01-02-62-6220		93.24	
				02	NOV COPIER MTC	01-03-62-6220	46.62	
				03	NOV COPIER MTC	01-06-62-6220	46.62	
				04	OCT B&W COPY OVERAGE	01-02-62-6220	41.18	
				05	OCT COLOR COPY OVERAGE	01-02-62-6220	450.65	
				06	OCT COLOR COPY OVERAGE	01-03-62-6220	13.17	
				07	OCT COLOR COPY OVERAGE	01-06-62-6220	60.69	
							INVOICE TOTAL:	752.17 *
	4014335044	11/01/14	01	MTC	01-07-62-6220		175.76	
							INVOICE TOTAL:	175.76 *
							CHECK TOTAL:	927.93
131065	CAR7341 2954	CARTRIDGE WORLD 10/29/14	01	REFILLS	51-00-61-6101		492.92 492.92 *	
							INVOICE TOTAL:	492.92 *
							CHECK TOTAL:	492.92
131066	CAT6298 5956780	CATCHING FLUIDPOWER, INC 10/29/14	01	COUPLER;NIPPLE;ASSEMBLY/#4	01-11-62-6220		179.83	
				02	PIP ADAPTER/#13	01-11-62-6220	2.65	
				03	PIP ADAPTER/#13	80-00-62-6220	2.65	
							INVOICE TOTAL:	185.13 *
							CHECK TOTAL:	185.13

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131067	CER2326 1651116	CERTIFIED LABORATORIES 09/16/14	01	2 CASES BEE/WASP SPRAY	01-11-62-6260		384.55 384.55 *	
							INVOICE TOTAL:	384.55 *
							CHECK TOTAL:	384.55
131068	CER560 PM7444	CERTIFIED FLEET SERVICES, INC 10/31/14	01	PREVENTATIVE MTC/ENG 1112	01-09-62-6220		1,545.00	
							INVOICE TOTAL:	1,545.00 *
	R16209;R16209A	10/20/14	01	REPAIRS/CO1113	01-09-62-6220		6,723.10	
							INVOICE TOTAL:	6,723.10 *
	r16230	10/31/14	01	REPAIRS/CO1112	01-09-62-6220		5,508.58	
							INVOICE TOTAL:	5,508.58 *
							CHECK TOTAL:	13,776.68
131069	CIMBALIS 2014	THOMAS CIMBALISTA 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *	
							INVOICE TOTAL:	150.00 *
							CHECK TOTAL:	150.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131070	CLO2784 5515	CLOSED CIRCUIT INNOVATIONS 11/01/14	01	DEC MAINTENANCE	01-10-62-6222		286.67	
				02	DEC MAINTENANCE	01-10-62-6223	286.66	
				03	DEC MAINTENANCE	51-00-62-6280	286.67	
							INVOICE TOTAL:	860.00 *
							CHECK TOTAL:	860.00

4-E.6

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131078	DAR6697 17163315	11/03/14	01	W S DARLEY & CO HELMET/RAPP	01-09-60-6021		258.01 INVOICE TOTAL: 258.01 *
							CHECK TOTAL: 258.01
131079	DIG9423	DIGITAL BUSINESS TECHNOLOGIES					
	10510	11/01/14	01	SHARP COPIER LEASE PAYMENT	01-11-61-6100		168.00
			02	SHARP COPIER LEASE PAYMENT	50-00-61-6100		22.50
			03	SHARP COPIER LEASE PAYMENT	80-00-61-6100		29.00
							INVOICE TOTAL: 219.50 *
	10627	11/06/14	01	COLR & B&W COPIES	01-11-61-6100		32.00
			02	COLR & B&W COPIES	01-11-66-6605		26.02
			03	COLR & B&W COPIES	50-00-66-6605		27.00
			04	COLR & B&W COPIES	80-00-66-6605		27.00
							INVOICE TOTAL: 112.02 *
							CHECK TOTAL: 331.52
131080	DMJ603	D M J AUTOMOTIVE					
	2394	11/06/14	01	MAINTENANCE/CO1115	01-09-62-6220		455.10 INVOICE TOTAL: 455.10 *
	2406	11/11/14	01	REAR WHEEL ABS SENSOR/1182	01-09-62-6220		187.40 INVOICE TOTAL: 187.40 *
	2412	11/12/14	01	REPL AIR LINE/CO1114	01-09-62-6220		198.52 INVOICE TOTAL: 198.52 *
							CHECK TOTAL: 841.02
131081	DOE131	LYN DOERING					

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131081	DOE131	LYN DOERING					
	141117	11/17/14	01	TRANSCRIPTS RE:PC #216	01-06-62-6230		1,909.00 INVOICE TOTAL: 1,909.00 *
							CHECK TOTAL: 1,909.00
131082	ESS941	ESSENTIAL EQUIPMENT SOLUTIONS					
	2936	08/25/14	01	CALIBRATION GAS METERS	01-09-62-6220		75.90 INVOICE TOTAL: 75.90 *
							CHECK TOTAL: 75.90
131083	FAL5	FALON & KENNEY					
	20695	11/06/14	01	OCT PROSECUTING SVCS	01-04-62-6233		1,080.00
			02	OCT PROSECUTING SVCS	51-00-62-6230		120.00
							INVOICE TOTAL: 1,200.00 *
	20696	11/06/14	01	CODE VIOL@50 S LA GRANGE	01-04-62-6235		67.50 INVOICE TOTAL: 67.50 *
	20698	11/06/14	01	CODE VIOL@46 N MADISON	01-04-62-6235		391.50 INVOICE TOTAL: 391.50 *
	20699	11/06/14	01	CODE VIOL@324 FRANKLIN	01-04-62-6235		67.50 INVOICE TOTAL: 67.50 *
	20702	11/06/14	01	CODE VIOL@939 ASHLAND	01-04-62-6235		135.00 INVOICE TOTAL: 135.00 *
	20703	11/06/14	01	CODE VIOL@870 12TH AVE	01-04-62-6235		384.63 INVOICE TOTAL: 384.63 *
	20704	11/06/14	01	CODE VIOL@133 WASHINGTON	01-04-62-6235		210.00 INVOICE TOTAL: 210.00 *

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131083	FAL5	FALOON & KENNEY						
		*** VOID---LEADER CHECK ***						
131084	FAL5	FALOON & KENNEY						
	20705	11/06/14	01	CODE VIOL@52 S LA GRANGE RD	01-04-62-6235		418.50	
						INVOICE TOTAL:	418.50 *	
	20706	11/06/14	01	CODE VIOL@67 BLUFF	01-04-62-6235		297.00	
						INVOICE TOTAL:	297.00 *	
	20707	11/06/14	01	CODE VIOL@835 S BRAINARD	01-04-62-6235		243.00	
						INVOICE TOTAL:	243.00 *	
						CHECK TOTAL:	3,414.63	
131085	FIR/CD	FIRST NATIONAL BANK/LA GRANGE						
	141107	11/07/14	01	RETAILERS BRKFST	01-06-62-6239		260.00	
						INVOICE TOTAL:	260.00 *	
	141113	11/13/14	01	SEMINAR/P BOYLE	01-06-60-6020		30.00	
						INVOICE TOTAL:	30.00 *	
						CHECK TOTAL:	290.00	
131086	FIR/FD	FIRST NATIONAL BANK/LA GRANGE						
	140916-2	09/16/14	01	IL FIRE CHIEFS MEMBERSHIP	01-09-60-6020		150.00	
						INVOICE TOTAL:	150.00 *	
						CHECK TOTAL:	150.00	
131087	FIR/PD	FIRST NATIONAL BANK/LA GRANGE						

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131087	FIR/PD	FIRST NATIONAL BANK/LA GRANGE						
	141107	11/07/14	01	IACP DUES/HOLUB	01-07-60-6020		220.00	
			02	IACP DUES/STRASSER	01-07-60-6020		95.00	
			03	INTEREST	01-07-60-6020		8.17	
						INVOICE TOTAL:	323.17 *	
						CHECK TOTAL:	323.17	
131088	FIR245	FIREGROUND SUPPLY INC						
	13204	10/29/14	01	PATCHES;EMBROIDERY/CHIEF	01-09-60-6020		12.95	
						INVOICE TOTAL:	12.95 *	
	13233	11/06/14	01	STORM BOOT;BELT	01-09-60-6021		159.75	
						INVOICE TOTAL:	159.75 *	
						CHECK TOTAL:	172.70	
131089	FIR4037	FIRESTONE						
	223681	09/05/14	01	FLAT REPAIR	01-07-62-6220		12.00	
						INVOICE TOTAL:	12.00 *	
						CHECK TOTAL:	12.00	
131090	FLE649	FLEET SAFETY SUPPLY						
	61553	11/10/14	01	REPL CHARGING BASE/CO1113	01-09-62-6220		34.05	
						INVOICE TOTAL:	34.05 *	
						CHECK TOTAL:	34.05	
131091	FUL5550	FULLER'S CAR WASH						
	14/10	11/01/14	01	OCT SQUAD WASHES	01-07-62-6220		35.00	
						INVOICE TOTAL:	35.00 *	
						CHECK TOTAL:	35.00	

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131092	FULLA 2014	PATRICK FULLA 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	150.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131093	GFOA 0152003/2015	GOVERNMENT FINANCE OFFICER'S 10/29/14	01	ANNUAL MEMBERSHIP	01-03-60-6020		190.00 190.00 *	
							INVOICE TOTAL:	
131093	141105	11/05/14	01	GAAFR SUPPLEMENT/GASB 67&68	01-03-60-6020		48.00 48.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	238.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131094	GILL 2014	MATTHEW GILL 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	150.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131095	GOGIC 141114	MILOVAN GOGIC 11/14/14	01	REIMBURSE FOR STEEL TOED BOOTS	01-11-60-6021		138.11 138.11 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	138.11
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131096	GOV650	GOVHR USA						

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131096	GOV650 1-10-014-0134	GOVHR USA 10/29/14	01	PROF SVCS/1/3 FEE	24-00-62-6230		4,167.00 4,167.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	4,167.00
131097	HAN1562 5460445	HANSON MATERIAL SERVICE 11/05/14	01	2 LOADS STONE CA7-STOCK	50-00-62-6220		280.87 280.87 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	280.87
131098	HANNON 2014	JOHN HANNON 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	150.00
*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***								
131099	HAR62133 MN00002605	HARRIS COMPUTER SYSTEMS 10/25/14	01	MSI MODULES/ANNUAL MNT K	01-03-62-6220		7,384.12 770.95	
							INVOICE TOTAL:	
131099	MN00080066	10/31/14	01	INHANCE SFTWR SUPPORT/2015	50-00-62-6220		7,516.77 7,516.77 *	
							INVOICE TOTAL:	
							CHECK TOTAL:	15,671.84
131100	HAV5501 246733	HAVOLINE XPRESS LUBE 10/20/14	01	OIL CHANGE/#522	01-07-62-6220		31.21 31.21 *	
							INVOICE TOTAL:	

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131100	HAV5501	HAVOLINE XPRESS LUBE					
	252049	11/08/14	01	OIL CHANGE/#526	01-07-62-6220		72.21
						INVOICE TOTAL:	72.21 *
						CHECK TOTAL:	103.42
131101	HDS9103	HD SUPPLY WATERWORKS					
	15999	09/25/14	01	2 OMNI METERS;4 PIGGYBACK NUTS	50-00-66-6692		2,035.64
						INVOICE TOTAL:	2,035.64 *
	215787	11/07/14	01	WHITE;RED MARKING PAINT	01-11-61-6100		456.00
						INVOICE TOTAL:	456.00 *
						CHECK TOTAL:	2,491.64
131102	HERRERA	EDGAR HERRERA					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***					
131103	HEU2315	HEUER & ASSOCIATES					
	14-098	11/05/14	01	PLAN REV@117 S LG RD`	01-00-35-3511		344.55
						INVOICE TOTAL:	344.55 *
	14-100	11/07/14	01	PLAN REV@720 9TH	01-00-35-3511		3,058.03
						INVOICE TOTAL:	3,058.03 *
	14-102	11/10/14	01	LG MISC	01-06-62-6230		372.24
						INVOICE TOTAL:	372.24 *
	14-103	11/10/14	01	PLAN REV@120 S SPRING	01-00-35-3511		344.55
						INVOICE TOTAL:	344.55 *

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131103	HEU2315	HEUER & ASSOCIATES					
	14-104	11/10/14	01	DRAINAGE @804 S MADISON	01-00-35-3511		1,320.78
						INVOICE TOTAL:	1,320.78 *
						CHECK TOTAL:	5,440.15
131104	HOM1831	HOME DEPOT CREDIT SERVICES					
	2053764	11/13/14	01	RECIRC UTILITY HEATER/TILDEN T	50-00-62-6220		79.94
						INVOICE TOTAL:	79.94 *
						CHECK TOTAL:	79.94
131105	HOR60	HORTON'S OF LA GRANGE					
	168804	11/10/14	01	9V BATTERIES/VB MTG	01-10-62-6220		11.99
						INVOICE TOTAL:	11.99 *
						CHECK TOTAL:	11.99
131106	HOU147	HOUSE OF DOORS, INC					
	2198	09/11/14	01	REPAIR CENTR OH DOOR/FD	01-09-62-6220		586.97
						INVOICE TOTAL:	586.97 *
						CHECK TOTAL:	586.97
131107	HOU6200	THE ROY HOUFF COMPANY					
	200639827	11/15/14	01	GARLAND;WREATHS;SHIPPING	01-10-62-6222		1,110.00
			02	GARLAND;WREATHS;SHIPPING	01-10-62-6223		1,000.00
						INVOICE TOTAL:	2,110.00 *
						CHECK TOTAL:	2,110.00
131108	IAA	ILLINOIS ARBORIST ASSOCIATION					

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131108	IAA	ILLINOIS ARBORIST ASSOCIATION						
	364	11/04/14	01	ANNUAL DUES/WACHTER;GOGIC	01-11-60-6020		525.00	
						INVOICE TOTAL:	525.00 *	
						CHECK TOTAL:	525.00	
131109	ILSP	ILLINOIS STATE POLICE						
	141031	10/31/14	01	FINGERPRINTS/XING GUARD URBANK	01-07-61-6100		31.50	
						INVOICE TOTAL:	31.50 *	
						CHECK TOTAL:	31.50	
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131110	ILST	ILLINOIS STATE TREASURER						
	41907	10/27/14	01	TSM 9 INTERSECTIONS	01-11-62-6223		4,269.33	
						INVOICE TOTAL:	4,269.33 *	
						CHECK TOTAL:	4,269.33	
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131111	IPSAN	IL PUBLIC SAFETY AGENCY NETWRK						
	40371	11/14/14	01	ALERTS & BILLING	24-00-62-6210		3,018.00	
						INVOICE TOTAL:	3,018.00 *	
						CHECK TOTAL:	3,018.00	
131112	IRIZARRY	SABRINA IRIZARRY						
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00	
						INVOICE TOTAL:	150.00 *	
						CHECK TOTAL:	150.00	
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131113	IRMA	INTERGOVERNMENTAL RISK						
	9121	11/01/14	01	VOLUNTEER COVERAGE/AUX POLICE	01-19-62-6283		531.00	
						INVOICE TOTAL:	531.00 *	
						CHECK TOTAL:	531.00	
131114	JAC6642	JACK'S						
	60621	11/12/14	01	DRILL BITS/#66	50-00-61-6100		44.06	
						INVOICE TOTAL:	44.06 *	
						CHECK TOTAL:	44.06	
131115	KAN1213	KANE BROTHERS INC						
	5239	10/01/14	01	FOUNTAIN MAINTENANCE	01-10-62-6222		730.00	
						INVOICE TOTAL:	730.00 *	
	5325	11/01/14	01	FOUNTAIN MTC;SHUT DOWN;ETC	01-10-62-6222		1,029.00	
						INVOICE TOTAL:	1,029.00 *	
						CHECK TOTAL:	1,759.00	
131116	KAN150	KANE, McKENNA & ASSOCIATES, INC						
	12700	11/17/14	01	SVCS RE: OPUS DEVELOPMENT	01-06-62-6230		2,350.00	
						INVOICE TOTAL:	2,350.00 *	
						CHECK TOTAL:	2,350.00	
131117	KANG	JIN KANG						
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00	
						INVOICE TOTAL:	150.00 *	
						CHECK TOTAL:	150.00	
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131118	KB106	KB LAWN & MULCH						
	14/10-01	10/31/14	01	MOW GRASS@315 FRANKLIN	01-06-62-6230		130.00	
						INVOICE TOTAL:	130.00 *	
	14/10-02	10/31/14	01	MOW GRASS@324 FRANKLIN	01-06-62-6230		130.00	
						INVOICE TOTAL:	130.00 *	
	14/10-03	10/31/14	01	MOW GRASS@249 SAWYER	01-06-62-6230		130.00	
						INVOICE TOTAL:	130.00 *	
						CHECK TOTAL:	390.00	
131119	KEN9575	KENIG, LINDGREN, O'HARA, ABOONA						
	20686	09/29/14	01	YMCA SITE DEVELOPMENT	40-00-66-6644		252.71	
						INVOICE TOTAL:	252.71 *	
						CHECK TOTAL:	252.71	
131120	KIE75	KIEFT BROTHERS						
	207225	10/22/14	01	FLAT TOP COVER	80-00-62-6220		137.50	
						INVOICE TOTAL:	137.50 *	
						CHECK TOTAL:	137.50	
131121	KIELCZYN	MARGE KIELCZYNSKI						
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00	
						INVOICE TOTAL:	150.00 *	
						CHECK TOTAL:	150.00	
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***		
131122	KRAMER	STEVE KRAMER						

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT	
131122	KRAMER	STEVE KRAMER						
	141101	11/01/14	01	20 YR EMPLOYEE SERVICE AWARD	01-19-68-6860		200.00	
						INVOICE TOTAL:	200.00 *	
						CHECK TOTAL:	200.00	
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***		
131123	LAD524	LADWIG BUSINESS FORMS INC						
	11415	10/30/14	01	1000 PROPERTY INVENTORY RPTS	01-07-61-6101		465.00	
						INVOICE TOTAL:	465.00 *	
						CHECK TOTAL:	465.00	
131124	LAPINO	STEVE LA PINO						
	141107	11/07/14	01	REIMBURSE FOR BELT	01-08-60-6021		50.87	
						INVOICE TOTAL:	50.87 *	
						CHECK TOTAL:	50.87	
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***		
131125	LGP447	VILLAGE OF LA GRANGE PARK						
	110414	11/06/14	01	AIR TESTING/SHARED	01-09-62-6220		67.50	
						INVOICE TOTAL:	67.50 *	
						CHECK TOTAL:	67.50	
131126	LGPC	PETTY CASH						
	2014	11/18/14	01	EMPLOYEE HOLIDAY LUNCHEON	01-19-68-6860		1,300.00	
						INVOICE TOTAL:	1,300.00 *	
						CHECK TOTAL:	1,300.00	
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***		

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131127	LGPDEBAY	LA GRANGE PD EBAY ACCOUNT					
	14-11-05	11/05/14	01	COURTSMART LAW LEGAL MAGAZINE	01-07-60-6020		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131128	LJUBENKO	STEVEN LJUBENKO					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131129	MCM7690	MC MASTER-CARR SUPPLY CO					
	14420240	10/08/14	01	28 PKS CABLE TIES/CBD XMAS	01-10-62-6222		343.54
						INVOICE TOTAL:	343.54 *
						CHECK TOTAL:	343.54
131130	MGP701	MGP, INC					
	2358	10/31/14	01	OCT 2014 GIS CONSORTIUM	50-00-62-6230		2,416.40
			02	OCT 2014 GIS CONSORTIUM	80-00-62-6230		1,035.60
						INVOICE TOTAL:	3,452.00 *
						CHECK TOTAL:	3,452.00
131131	MIN500	MINER ELECTRONICS CORP					
	255200	11/04/14	01	REPL SIREN SPEAKER/#519	01-07-62-6220		377.50
						INVOICE TOTAL:	377.50 *
	255508	11/12/14	01	DISPATCH COMPUTER PROBLEM	24-00-62-6220		95.00
						INVOICE TOTAL:	95.00 *
						CHECK TOTAL:	472.50

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131132	MONCIVAI	JERRY MONCIVAI					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131133	MOR616	DONALD E MORRIS ARCHITECT, PC					
	14/10	10/31/14	01	OCT 2014 PLAN REVIEWS	01-00-35-3511		3,280.00
						INVOICE TOTAL:	3,280.00 *
						CHECK TOTAL:	3,280.00
131134	MUN	MUNICIPAL CLERKS OF S/W SUBURB					
	141107	11/07/14	01	MUNICIPAL CLERKS MEETING	01-12-60-6020		25.00
						INVOICE TOTAL:	25.00 *
						CHECK TOTAL:	25.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131135	MUN7330	MUNICIPAL SYSTEMS, INC					
	10314	11/03/14	01	OCT	27-00-68-6899		650.00
						INVOICE TOTAL:	650.00 *
						CHECK TOTAL:	650.00
131136	NAT2402	NATIONAL NOTARY ASSOCIATION					
	141114	11/14/14	01	JANE COLEMAN DUES	01-07-60-6020		59.00
						INVOICE TOTAL:	59.00 *
						CHECK TOTAL:	59.00

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131137	ODOM	MILES ODOM					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
					CHECK TOTAL:		150.00
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131138	OFF8804	OFFICE DEPOT					
	737702852001	10/29/14	01	COPY PAPER	01-09-61-6100		55.50
						INVOICE TOTAL:	55.50 *
	738193167001	10/29/14	01	STORAGE BOXES	01-09-61-6100		32.98
						INVOICE TOTAL:	32.98 *
	738193592001	10/29/14	01	VINYL TICKET HOLDERS	01-09-61-6100		38.66
						INVOICE TOTAL:	38.66 *
	738193593001	11/01/14	01	MISC OFFICE SUPPLIES	01-09-61-6100		29.44
						INVOICE TOTAL:	29.44 *
					CHECK TOTAL:		156.58
131139	OHE1070	RAY O'HERRON CO., INC					
	1462722	11/04/14	01	SWEATER;TNECK;SHIRT/MCDERMOTT	01-07-60-6021		186.93
						INVOICE TOTAL:	186.93 *
	1463111	11/05/14	01	BELT;BUCKLE/BERG	01-07-60-6021		25.90
						INVOICE TOTAL:	25.90 *
					CHECK TOTAL:		212.83
131140	OHE523	RAY O'HERRON CO/OAKBROOK TERR.					
	1464660	11/13/14	01	HOLSTER;BELT/FULLA	01-07-60-6021		193.98
						INVOICE TOTAL:	193.98 *
					CHECK TOTAL:		193.98

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131141	PACANA	RANDY PACANA					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
					CHECK TOTAL:		150.00
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131142	PAOLINI	TOM PAOLINI					
	141117	11/17/14	01	REFUND PERMIT FEE:701 S ASHLAN	01-00-51-5110		777.00
						INVOICE TOTAL:	777.00 *
					CHECK TOTAL:		777.00
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131143	PEP8500	PEP BOYS - REMITTANCE DEPT					
	8311023656	11/11/14	01	SNOW BRUSHES;BATTERY TENDER	01-07-62-6220		97.45
						INVOICE TOTAL:	97.45 *
					CHECK TOTAL:		97.45
131144	PETERS	ANDREW PETERS					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
					CHECK TOTAL:		150.00
	*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***						
131145	PIN749	PINNER ELECTRIC, INC					
	24851	08/30/14	01	PULL CONDUIT;INST CAMERA	01-11-66-6600		2,409.90
						INVOICE TOTAL:	2,409.90 *
	24931	09/30/14	01	REPL S/L POLE:512 S KENSINGTON	01-11-62-6223		1,304.00
						INVOICE TOTAL:	1,304.00 *
					CHECK TOTAL:		3,713.90

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131146	PRA1066	PRAXAIR DISTRIBUTION INC					
	50900943	10/30/14	01	OXYGEN CYL TANKS EXCHANGED	01-09-62-6253		223.50
						INVOICE TOTAL:	223.50 *
						CHECK TOTAL:	223.50
131147	QUA2080	QUARRY MATERIALS INC					
	52061	11/10/14	01	7.41 TONS SURFACE	01-11-62-6262		429.78
						INVOICE TOTAL:	429.78 *
						CHECK TOTAL:	429.78
131148	RAI6784	RAILROAD MANAGEMENT CO					
	313864	10/30/14	01	8" WTR PIPELINE XING AGREEMT	50-00-62-6220		160.78
						INVOICE TOTAL:	160.78 *
						CHECK TOTAL:	160.78
131149	RAPPK	KATHLEEN RAPP					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***	
131150	RIP210	RIPSON COMMUNICATIONS					
	1411	11/05/14	01	UNWRAP LG CAMPAIGN	01-06-62-6239		2,500.00
						INVOICE TOTAL:	2,500.00 *
						CHECK TOTAL:	2,500.00
131151	ROHLICEK	DAVID ROHLICEK					

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131151	ROHLICEK	DAVID ROHLICEK					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
						*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***	
131152	ROM18	ROMEDEVILLE FIRE ACADEMY					
	2014-464	10/29/14	01	TACTIC & STRATEGY II/RATKOVICH	01-09-60-6020		325.00
						INVOICE TOTAL:	325.00 *
						CHECK TOTAL:	325.00
131153	RUS2208	RUSH TRUCK CENTERS					
	95444589	10/09/14	01	WIPER;MOTOR/#14	01-11-62-6220		122.36
						INVOICE TOTAL:	122.36 *
	95450030	10/08/14	01	WIPER ARMS/#14	01-11-62-6220		118.09
						INVOICE TOTAL:	118.09 *
	95463504	10/09/14	01	VISOR;HORN/#14	01-11-62-6220		119.62
						INVOICE TOTAL:	119.62 *
						CHECK TOTAL:	360.07
131154	SAN9678	SANTA'S WHOLESALE SUPPLY					
	10738	10/21/14	01	RED VELVET BOWS/CBD XMAS	01-10-62-6222		1,699.67
						INVOICE TOTAL:	1,699.67 *
						CHECK TOTAL:	1,699.67
131155	SER16	SERVICE SPRING					

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131155	SER16	SERVICE SPRING					
	133224	10/29/14	01	SERVICE ENGINE 1112	01-09-62-6220		2,130.77
						INVOICE TOTAL:	2,130.77 *
						CHECK TOTAL:	2,130.77
131156	SEY131	SEYFARTH SHAW					
	2356830-013586	11/11/14	01	LGL SVCS THROUGH OCT 31,2014	01-04-62-6238		385.00
						INVOICE TOTAL:	385.00 *
						CHECK TOTAL:	385.00
131157	SHA250	SHAW MEDIA					
	996483	10/31/14	01	LGL NTC RE: PC #221	01-12-62-6271		208.87
						INVOICE TOTAL:	208.87 *
						CHECK TOTAL:	208.87
131158	SHE1510	SHERWIN WILLIAMS					
	3919-8	10/06/14	01	PRO RESPIRATORS	01-11-60-6021		114.72
						INVOICE TOTAL:	114.72 *
						CHECK TOTAL:	114.72
131159	SIR100	SIRCHIE FINGER PRINT LAB., INC					
	184394	10/28/14	01	2-100PKS SWAB BOX	01-07-61-6100		45.90
						INVOICE TOTAL:	45.90 *
						CHECK TOTAL:	45.90
131160	SPE4835	SPECIAL T UNLIMITED					

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131160	SPE4835	SPECIAL T UNLIMITED					
	13230	11/04/14	01	CLOTING	01-09-60-6021		1,254.00
						INVOICE TOTAL:	1,254.00 *
						CHECK TOTAL:	1,254.00
131161	STA8368	STAPLES ADVANTAGE					
	8032080891	11/08/14	01	CREAMER;HAND SANITIZER;ETC	01-03-61-6100		64.19
						INVOICE TOTAL:	64.19 *
						CHECK TOTAL:	64.19
131162	STRASSER	RENEE STRASSER					
	2014	11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00
						INVOICE TOTAL:	150.00 *
						CHECK TOTAL:	150.00
		*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***					
131163	SUB250	SUBURBAN LIFE MEDIA					
	141117	11/17/14	01	1 YEAR RENEWAL	01-06-60-6020		38.00
						INVOICE TOTAL:	38.00 *
						CHECK TOTAL:	38.00
131164	SUN8247	SUN-TIMES MEDIA					
	0000272461	10/31/14	01	HALLOWEEN WALK AD	01-06-62-6239		570.00
						INVOICE TOTAL:	570.00 *
						CHECK TOTAL:	570.00
131165	SWA9500	SWAN CLEANERS					

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INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131165	SWA9500 4689	SWAN CLEANERS 10/09/14	01	BLANKETS	01-07-62-6241		30.00 30.00 *
						INVOICE TOTAL:	30.00
						CHECK TOTAL:	30.00
131166	TAM7500 99168	TAMELING INDUSTRIES 11/06/14	01	20 YDS TOP SOIL	01-11-62-6259		366.00 366.00 *
						INVOICE TOTAL:	366.00
						CHECK TOTAL:	366.00
131167	THI4170 141117	DAN THIESSE 11/17/14	01	15 PLUMBING INSPECTIONS	01-06-62-6229		532.50 532.50 *
						INVOICE TOTAL:	532.50
						CHECK TOTAL:	532.50
131168	THO1302 14-3954	THOMPSON ELEVATOR 11/06/14	01	2 ELEVATOR INSPECTIONS	01-06-62-6234		200.00 200.00 *
						INVOICE TOTAL:	200.00
						CHECK TOTAL:	200.00
131169	THO699 11121406	THOMAS ALARM, INC 11/12/14	01	REPAIR ALARM;REPL BATTERIES	51-00-62-6280		340.00 340.00 *
						INVOICE TOTAL:	340.00
						CHECK TOTAL:	340.00
131170	TRI1483	TRIBUNE MEDIA GROUP					

INVOICES DUE ON/BEFORE 11/24/2014

CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131170	TRI1483 001607373	TRIBUNE MEDIA GROUP 10/31/14	01	HALLOWEEN WALK ADS	01-06-62-6239		2,575.36 2,575.36 *
						INVOICE TOTAL:	2,575.36
						CHECK TOTAL:	2,575.36
131171	UHER 2014	KEN UHER 11/14/14	01	ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *
						INVOICE TOTAL:	150.00
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131172	VAN1340 005.6124-0	VAN BRUGGEN SIGNS 11/01/14	01	IDOT-LA GRANGE SIGN	01-06-62-6239		636.91 636.91 *
						INVOICE TOTAL:	636.91
						CHECK TOTAL:	636.91
131173	VER2550 9734913028	VERIZON WIRELESS 11/04/14	01	10-5/11-4	01-07-62-6210		353.02 353.02 *
						INVOICE TOTAL:	353.02
						CHECK TOTAL:	353.02
131174	VID1224 151239	VIDACARE 09/22/14	01	EZ STABILIZER	01-09-62-6253		159.06 159.06 *
						INVOICE TOTAL:	159.06
						CHECK TOTAL:	159.06
131175	WAR1601	WAREHOUSE DIRECT					

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131175	WAR1601 2498463	11/07/14	01	WAREHOUSE DIRECT MISC OFFICE SUPPLIES	01-11-61-6101		132.20 132.20 *
						INVOICE TOTAL:	132.20
						CHECK TOTAL:	132.20
131176	WAR40 874586	11/10/14	01 02	AL WARREN OIL CO, INC 1700.7 GALS GASOHOL 700.2 GALS ULS DIESEL	01-00-17-1701 01-00-17-1701		4,165.18 2,288.60 6,453.78 *
						INVOICE TOTAL:	6,453.78
						CHECK TOTAL:	6,453.78
131177	WARDLAW 2014	11/14/14	01	ROBERT WARDLAW ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *
						INVOICE TOTAL:	150.00
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131178	WAT50 0253602	11/04/14	01	WATER PRODUCTS FIREMEN SAFETY BOOTS	01-11-60-6021		438.00 438.00 *
						INVOICE TOTAL:	438.00
						CHECK TOTAL:	438.00
131179	WES111 10802	11/01/14	01	WEST SUBURBAN LIVING MAGAZINE SHOP LA GRANGE AD	01-06-62-6239		981.00 981.00 *
						INVOICE TOTAL:	981.00
						CHECK TOTAL:	981.00

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CHECK #	VENDOR # INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	PROJECT CODE	ITEM AMT
131180	WOL4829 96615079	11/05/14	01	WOLTERS KLUWER LAW & BUSINESS 2015 PAYROLL MGR NEWSLETTER	01-03-60-6020		501.00 501.00 *
						INVOICE TOTAL:	501.00
						CHECK TOTAL:	501.00
131181	WOLF 2014	11/14/14	01	SCOTT WOLF ANNUAL FITNESS STIPEND	01-07-60-6010		150.00 150.00 *
						INVOICE TOTAL:	150.00
						CHECK TOTAL:	150.00
				*** THIS CHECK IS EITHER MISSING VENDOR NAME OR ADDRESS INFO.***			
131182	ZIE2001 227161	11/04/14	01	ZIEBELL WATER SERVICE PROD.INC B-BOX EXT;REP SLEEVES;ETC	50-00-62-6220		696.78 696.78 *
						INVOICE TOTAL:	696.78
						CHECK TOTAL:	696.78
						TOTAL AMOUNT PAID:	148,582.33

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ITEM	ACCOUNT #	ACCOUNT DESCRIPTION	VENDOR	INVOICE	TRANSACTION DESCRIPTION	DEBIT AMT	CREDIT AMT
GENERAL FUND							
01	01-00-17-1701	PREPAID DIESEL FUEL	WAR40	874586	1700.7 GALS GASOHOL	4,165.18	
02	01-00-17-1701	PREPAID DIESEL FUEL	WAR40	874586	700.2 GALS ULS DIESEL	2,288.60	
03	01-00-31-3105	P/R-HOSPITALIZATION-EMPLOYEE	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	747.77	
04	01-00-35-3511	PROFESSIONAL SVCS - REIMB.	HEU2315	14-098	PLAN REV@117 S LG RD	344.55	
05	01-00-35-3511	PROFESSIONAL SVCS - REIMB.	HEU2315	14-100	PLAN REV@720 9TH	3,058.03	
06	01-00-35-3511	PROFESSIONAL SVCS - REIMB.	HEU2315	14-103	PLAN REV@120 S SPRING	344.55	
07	01-00-35-3511	PROFESSIONAL SVCS - REIMB.	HEU2315	14-104	DRAINAGE @804 S MADISON	1,320.78	
08	01-00-35-3511	PROFESSIONAL SVCS - REIMB.	MOR616	14/10	OCT 2014 PLAN REVIEWS	3,280.00	
09	01-00-38-3800	ESCROW - BUILDING PERMITS	CMA	141117	REFUND ESCROW RE:117 LG RD	2,104.97	
10	01-00-51-5110	BUILDING PERMITS	PAOLINI	141117	REFUND PERMIT FEE:701 S ASHL	777.00	
11	01-02-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	43.27	
12	01-02-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	465.75	
13	01-02-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	NOV COPIER MTC	93.24	
14	01-02-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	OCT B&W COPY OVERAGE	41.18	
15	01-02-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	OCT COLOR COPY OVERAGE	450.65	
16	01-02-62-6220	MTCE-EQUIPMENT	HAR62133	MN00002605	BUS LICENSE/ANNUAL MNT K	770.95	
17	01-03-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	125.73	
18	01-03-60-6020	TRAINING & MEMBERSHIP	GFOA	0152003/2015	ANNUAL MEMBERSHIP	190.00	
19	01-03-60-6020	TRAINING & MEMBERSHIP	GFOA	141105	GAAFR SUPPLEMENT/GASB 67&68	48.00	
20	01-03-60-6020	TRAINING & MEMBERSHIP	WOL4829	96615079	2015 PAYROLL MGR NEWSLETTER	501.00	
21	01-03-61-6100	TOOLS & SUPPLIES	STA8368	8032080891	CREAMER;HAND SANITIZER;ETC	64.19	
22	01-03-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	634.97	
23	01-03-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	NOV COPIER MTC	46.62	
24	01-03-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	OCT COLOR COPY OVERAGE	13.17	
25	01-03-62-6220	MTCE-EQUIPMENT	HAR62133	MN00002605	OCT COLOR COPY OVERAGE	7,384.12	
26	01-04-62-6233	LEGAL-PROSECUTOR	FAL5	20695	MSI MODULES/ANNUAL MNT K	1,080.00	
27	01-04-62-6235	LEGAL-SPECIAL	FAL5	20696	OCT PROSECUTING SVCS	67.50	
28	01-04-62-6235	LEGAL-SPECIAL	FAL5	20698	CODE VIOL@50 S LA GRANGE	391.50	
29	01-04-62-6235	LEGAL-SPECIAL	FAL5	20699	CODE VIOL@46 N MADISON	67.50	
30	01-04-62-6235	LEGAL-SPECIAL	FAL5	20702	CODE VIOL@324 FRANKLIN	135.00	
31	01-04-62-6235	LEGAL-SPECIAL	FAL5	20703	CODE VIOL@939 ASHLAND	384.63	
32	01-04-62-6235	LEGAL-SPECIAL	FAL5	20704	CODE VIOL@870 12TH AVE	210.00	
33	01-04-62-6235	LEGAL-SPECIAL	FAL5	20705	CODE VIOL@133 WASHINGTON	418.50	
34	01-04-62-6235	LEGAL-SPECIAL	FAL5	20706	CODE VIOL@52 S LA GRANGE RD	297.00	
35	01-04-62-6235	LEGAL-SPECIAL	FAL5	20707	CODE VIOL@67 BLUFF	243.00	
36	01-04-62-6238	LEGAL-PERSONNEL	SEY131	2356830-013586	CODE VIOL@835 S BRAINARD	385.00	
37	01-06-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	LGL SVCS THROUGH OCT 31,2014	117.97	
38	01-06-60-6020	TRAINING & MEMBERSHIP	FIR/CD	141113	BROKERAGE;CONSULT FEE NOV 20	30.00	

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ITEM	ACCOUNT #	ACCOUNT DESCRIPTION	VENDOR	INVOICE	TRANSACTION DESCRIPTION	DEBIT AMT	CREDIT AMT
GENERAL FUND							
39	01-06-60-6020	TRAINING & MEMBERSHIP	SUB250	141117	1 YEAR RENEWAL	38.00	
40	01-06-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	351.45	
41	01-06-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	NOV COPIER MTC	46.62	
42	01-06-62-6220	MTCE-EQUIPMENT	CAN1500	4014317022	OCT COLOR COPY OVERAGE	60.69	
43	01-06-62-6229	CONTRACTUAL PLUMBING INSP	THI4170	141117	15 PLUMBING INSPECTIONS	532.50	
44	01-06-62-6230	PROFESSIONAL SERVICES	AND6006	3129306	NOV 2014 SERVICES	66.00	
45	01-06-62-6230	PROFESSIONAL SERVICES	DOE131	141117	TRANSCRIPTS RE:PC #216	1,909.00	
46	01-06-62-6230	PROFESSIONAL SERVICES	HEU2315	14-102	LG MISC	372.24	
47	01-06-62-6230	PROFESSIONAL SERVICES	KAN150	12700	SVCS RE: OPUS DEVELOPMENT	2,350.00	
48	01-06-62-6230	PROFESSIONAL SERVICES	KB106	14/10-01	MOW GRASS@315 FRANKLIN	130.00	
49	01-06-62-6230	PROFESSIONAL SERVICES	KB106	14/10-02	MOW GRASS@324 FRANKLIN	130.00	
50	01-06-62-6230	PROFESSIONAL SERVICES	KB106	14/10-03	MOW GRASS@249 SAWYER	130.00	
51	01-06-62-6234	ELEVATOR INSPECTIONS	THO1302	14-3954	2 ELEVATOR INSPECTIONS	200.00	
52	01-06-62-6239	ECONOMIC DEVELOPMENT	ALB24	141015	2014 HALLOWEEN WALK PROMO PK	300.00	
53	01-06-62-6239	ECONOMIC DEVELOPMENT	FIR/CD	141107	RETAILERS BRKFST	260.00	
54	01-06-62-6239	ECONOMIC DEVELOPMENT	RIP210	1411	UNWRAP LG CAMPAIGN	2,500.00	
55	01-06-62-6239	ECONOMIC DEVELOPMENT	SUN8247	0000272461	HALLOWEEN WALK AD	570.00	
56	01-06-62-6239	ECONOMIC DEVELOPMENT	TRI1483	001607373	HALLOWEEN WALK ADS	2,575.36	
57	01-06-62-6239	ECONOMIC DEVELOPMENT	VAN1340	005.6124-0	IDOT-LA GRANGE SIGN	636.91	
58	01-06-62-6239	ECONOMIC DEVELOPMENT	WES111	10802	SHOP LA GRANGE AD	981.00	
59	01-07-60-6010	INSURANCE-HOSPITALIZATION	ANDRIES	2014	ANNUAL FITNESS STIPEND	150.00	
60	01-07-60-6010	INSURANCE-HOSPITALIZATION	BALON	2014	ANNUAL FITNESS STIPEND	150.00	
61	01-07-60-6010	INSURANCE-HOSPITALIZATION	BERG	2014	ANNUAL FITNESS STIPEND	150.00	
62	01-07-60-6010	INSURANCE-HOSPITALIZATION	BURRELL	2014	ANNUAL FITNESS STIPEND	150.00	
63	01-07-60-6010	INSURANCE-HOSPITALIZATION	CIMBALIS	2014	ANNUAL FITNESS STIPEND	150.00	
64	01-07-60-6010	INSURANCE-HOSPITALIZATION	COLEMANA	2014	ANNUAL FITNESS STIPEND	150.00	
65	01-07-60-6010	INSURANCE-HOSPITALIZATION	COMSTOCK	2014	ANNUAL FITNESS STIPEND	150.00	
66	01-07-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	809.59	
67	01-07-60-6010	INSURANCE-HOSPITALIZATION	FULLA	2014	ANNUAL FITNESS STIPEND	150.00	
68	01-07-60-6010	INSURANCE-HOSPITALIZATION	GILL	2014	ANNUAL FITNESS STIPEND	150.00	
69	01-07-60-6010	INSURANCE-HOSPITALIZATION	HANNON	2014	ANNUAL FITNESS STIPEND	150.00	
70	01-07-60-6010	INSURANCE-HOSPITALIZATION	HERRERA	2014	ANNUAL FITNESS STIPEND	150.00	
71	01-07-60-6010	INSURANCE-HOSPITALIZATION	IRIZARRY	2014	ANNUAL FITNESS STIPEND	150.00	
72	01-07-60-6010	INSURANCE-HOSPITALIZATION	KANG	2014	ANNUAL FITNESS STIPEND	150.00	
73	01-07-60-6010	INSURANCE-HOSPITALIZATION	KIELCZYN	2014	ANNUAL FITNESS STIPEND	150.00	
74	01-07-60-6010	INSURANCE-HOSPITALIZATION	LJUBENKO	2014	ANNUAL FITNESS STIPEND	150.00	
75	01-07-60-6010	INSURANCE-HOSPITALIZATION	MONCIVAI	2014	ANNUAL FITNESS STIPEND	150.00	
76	01-07-60-6010	INSURANCE-HOSPITALIZATION	ODOM	2014	ANNUAL FITNESS STIPEND	150.00	

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ITEM	ACCOUNT #	ACCOUNT DESCRIPTION	VENDOR	INVOICE	TRANSACTION DESCRIPTION	DEBIT AMT	CREDIT AMT
GENERAL FUND							
77	01-07-60-6010	INSURANCE-HOSPITALIZATION	PACANA	2014	ANNUAL FITNESS STIPEND	150.00	
78	01-07-60-6010	INSURANCE-HOSPITALIZATION	PETERS	2014	ANNUAL FITNESS STIPEND	150.00	
79	01-07-60-6010	INSURANCE-HOSPITALIZATION	RAPPK	2014	ANNUAL FITNESS STIPEND	150.00	
80	01-07-60-6010	INSURANCE-HOSPITALIZATION	ROHLICEK	2014	ANNUAL FITNESS STIPEND	150.00	
81	01-07-60-6010	INSURANCE-HOSPITALIZATION	STRASSER	2014	ANNUAL FITNESS STIPEND	150.00	
82	01-07-60-6010	INSURANCE-HOSPITALIZATION	UHER	2014	ANNUAL FITNESS STIPEND	150.00	
83	01-07-60-6010	INSURANCE-HOSPITALIZATION	WARDLAW	2014	ANNUAL FITNESS STIPEND	150.00	
84	01-07-60-6010	INSURANCE-HOSPITALIZATION	WOLF	2014	ANNUAL FITNESS STIPEND	150.00	
85	01-07-60-6020	TRAINING & MEMBERSHIP	FIR/PD	141107	IACP DUES/HOLUB	95.00	
86	01-07-60-6020	TRAINING & MEMBERSHIP	FIR/PD	141107	IACP DUES/STRASSER	8.17	
87	01-07-60-6020	TRAINING & MEMBERSHIP	FIR/PD	141107	INTEREST		
88	01-07-60-6020	TRAINING & MEMBERSHIP	LGPDEBAY	14-11-05	COURTSMART LAW LEGAL MAGAZIN	150.00	
89	01-07-60-6020	TRAINING & MEMBERSHIP	NAT2402	141114	JANE COLEMAN DUES	59.00	
90	01-07-60-6021	UNIFORMS	OHE1070	1462722	SWEATER;TNECK;SHIRT/MCDERMOT	186.93	
91	01-07-60-6021	UNIFORMS	OHE1070	1463111	BELT;BUCKLE/BERG	25.90	
92	01-07-60-6021	UNIFORMS	OHE523	1464660	HOLSTER;BELT/FULLA	193.98	
93	01-07-61-6100	TOOLS & SUPPLIES	COM3001	141106	11-16/12-15	84.58	
94	01-07-61-6100	TOOLS & SUPPLIES	ILSP	141031	FINGERPRINTS/XING GUARD URBA	31.50	
95	01-07-61-6100	TOOLS & SUPPLIES	SIR100	184394	2-100PKS SWAB BOX	45.90	
96	01-07-61-6101	PRINTING, POSTAGE, & STATIONE	LAD524	11415	1000 PROPERTY INVENTORY RPTS	465.00	
97	01-07-62-6210	TELEPHONE FEES	ATT	14/708579068711	NOV 3 LINE SYS:579-0687	197.60	
98	01-07-62-6210	TELEPHONE FEES	ATT	14/708579108511	NOV FAX LINE 579-1085	65.93	
99	01-07-62-6210	TELEPHONE FEES	ATT	14/708579139411	NOV INVEST FAX LINE 579-1394	71.59	
100	01-07-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	643.06	
101	01-07-62-6210	TELEPHONE FEES	VER2550	9734913028	10-5/11-4	353.02	
102	01-07-62-6220	MTCE-EQUIPMENT	AM8623	475862	BRAKE PADS;ROTOR/#526	272.37	
103	01-07-62-6220	MTCE-EQUIPMENT	AM8623	476066	DISC PAD/#523	100.91	
104	01-07-62-6220	MTCE-EQUIPMENT	AM8623	476148	HUBLESS ROTOR/#526	60.00	
105	01-07-62-6220	MTCE-EQUIPMENT	BR09545	14/10	OCT WASHES	180.00	
106	01-07-62-6220	MTCE-EQUIPMENT	CAN1500	4014335044	MTC	175.76	
107	01-07-62-6220	MTCE-EQUIPMENT	FIR4037	223681	FLAT REPAIR	12.00	
108	01-07-62-6220	MTCE-EQUIPMENT	FUL5550	14/10	OCT SQUAD WASHES	35.00	
109	01-07-62-6220	MTCE-EQUIPMENT	HAV5501	246733	OIL CHANGE/#522	31.21	
110	01-07-62-6220	MTCE-EQUIPMENT	HAV5501	252049	OIL CHANGE/#526	72.21	
111	01-07-62-6220	MTCE-EQUIPMENT	MIN500	255200	REPL SIREN SPEAKER/#519	377.50	
112	01-07-62-6220	MTCE-EQUIPMENT	PEP8500	8311023656	SNOW BRUSHES;BATTERY TENDER	97.45	
113	01-07-62-6241	PRISONER MEALS	SWA9500	4689	BLANKETS	30.00	
114	01-07-66-6600	NEW EQUIPMENT	APP9729	261422	REPL RADAR UNIT	1,369.00	

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GENERAL FUND							
115	01-08-60-6021	UNIFORMS	LAPINO	141107	REIMBURSE FOR BELT	50.87	
116	01-09-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	530.68	
117	01-09-60-6020	TRAINING & MEMBERSHIP	FIR/FD	140916-2	IL FIRE CHIEFS MEMBERSHIP	150.00	
118	01-09-60-6020	TRAINING & MEMBERSHIP	FIR245	13204	PATCHES;EMBROIDERY/CHIEF	12.95	
119	01-09-60-6020	TRAINING & MEMBERSHIP	ROM18	2014-464	TACTIC & STRATEGY II/RATKOVI	325.00	
120	01-09-60-6021	UNIFORMS	DAR6697	17163315	HELMET/RAPP	258.01	
121	01-09-60-6021	UNIFORMS	FIR245	13233	STORM BOOT;BELT	159.75	
122	01-09-60-6021	UNIFORMS	SPE4835	13230	CLOTING	1,254.00	
123	01-09-61-6100	TOOLS & SUPPLIES	OFF8804	737702852001	COPY PAPER	55.50	
124	01-09-61-6100	TOOLS & SUPPLIES	OFF8804	738193167001	STORAGE BOXES	32.98	
125	01-09-61-6100	TOOLS & SUPPLIES	OFF8804	738193592001	VINYL TICKET HOLDERS	38.66	
126	01-09-61-6100	TOOLS & SUPPLIES	OFF8804	738193593001	MISC OFFICE SUPPLIES	29.44	
127	01-09-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	401.82	
128	01-09-62-6210	TELEPHONE FEES	ATT	14/708579974711	NOV FAX/MODEM LINE 579-9747	130.49	
129	01-09-62-6220	MTCE-EQUIPMENT	CER560	PM7444	PREVENTATIVE MTC/ENG 1112	1,545.00	
130	01-09-62-6220	MTCE-EQUIPMENT	CER560	R16209;R16209A	REPAIRS/CO1113	6,723.10	
131	01-09-62-6220	MTCE-EQUIPMENT	CER560	r16230	REPAIRS/CO1112	5,508.58	
132	01-09-62-6220	MTCE-EQUIPMENT	DMJ603	2394	MAINTENANCE/CO1115	455.10	
133	01-09-62-6220	MTCE-EQUIPMENT	DMJ603	2406	REAR WHEEL ABS SENSOR/1182	187.40	
134	01-09-62-6220	MTCE-EQUIPMENT	DMJ603	2412	REPL AIR LINE/CO1114	198.52	
135	01-09-62-6220	MTCE-EQUIPMENT	ESS941	2936	CALIBRATION GAS METERS	75.90	
136	01-09-62-6220	MTCE-EQUIPMENT	FLE649	61553	REPL CHARGING BASE/CO1113	34.05	
137	01-09-62-6220	MTCE-EQUIPMENT	HOU147	2198	REPAIR CENTR OH DOOR/FD	586.97	
138	01-09-62-6220	MTCE-EQUIPMENT	LGP447	110414	AIR TESTING/SHARED	67.50	
139	01-09-62-6220	MTCE-EQUIPMENT	SER16	133224	SERVICE ENGINE 1112	2,130.77	
140	01-09-62-6250	FIRE PREVENTION	ALL9001	0551-011232785	DUMPSTER/FD OPEN HOUSE	270.00	
141	01-09-62-6253	EMERGENCY MED. SUPPLIES	BOU2353	81583699	GLOVES;ETC	200.54	
142	01-09-62-6253	EMERGENCY MED. SUPPLIES	BOU2353	81586582	GLOVES;ETC	24.09	
143	01-09-62-6253	EMERGENCY MED. SUPPLIES	BOU2353	81593061	GLOVES;COVERALLS	61.96	
144	01-09-62-6253	EMERGENCY MED. SUPPLIES	BOU2353	81604738	MASKS W/SPLASHGUARDS	321.52	
145	01-09-62-6253	EMERGENCY MED. SUPPLIES	PRA1066	50900943	OXYGEN CYL TANKS EXCHANGED	223.50	
146	01-09-62-6253	EMERGENCY MED. SUPPLIES	VID1224	151239	EZ STABILIZER	159.06	
147	01-10-62-6220	MTCE-EQUIPMENT	HOR60	168804	9V BATTERIES/VB MTG	11.99	
148	01-10-62-6221	MTCE-BUILDING	ARA2525	2078780204	MATS	34.73	
149	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	CLO2784	5515	DEC MAINTENANCE	286.67	
150	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	HOU6200	200639827	GARLAND;WREATHS;SHIPPING	1,110.00	
151	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	KAN1213	5239	FOUNTAIN MAINTENANCE	730.00	
152	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	KAN1213	5325	FOUNTAIN MTC;SHUT DOWN;ETC	1,029.00	

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GENERAL FUND							
153	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	MCM7690	14420240	28 PKS CABLE TIES/CBD XMAS	343.54	
154	01-10-62-6222	MTCE-CENTRAL BUSINESS DISTRI	SAN9678	10738	RED VELVET BOWS/CBD XMAS	1,699.67	
155	01-10-62-6223	MTCE. WEST END BUS. DIST.	CLO2784	5515	DEC MAINTENANCE	286.66	
156	01-10-62-6223	MTCE. WEST END BUS. DIST.	HOU6200	200639827	GARLAND;WREATHS;SHIPPING	1,000.00	
157	01-10-66-6660	EQUIPMENT-RESERVE	BUI444	5665	DESIGN;CONSTR ENG/PD BOILER	4,000.00	
158	01-11-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	212.27	
159	01-11-60-6020	TRAINING & MEMBERSHIP	IAA	364	ANNUAL DUES/WACHTER;GOGIC	525.00	
160	01-11-60-6021	UNIFORMS	ARA2525	2078752108	10/17/14 UNIFORM SERVICE	62.32	
161	01-11-60-6021	UNIFORMS	ARA2525	2078780333	11/7/14 UNIFORM SERVICE	62.32	
162	01-11-60-6021	UNIFORMS	ARA2525	2078789918	11/14/14 UNIFORM SERVICE	62.32	
163	01-11-60-6021	UNIFORMS	GOGIC	141114	REIMBURSE FOR STEEL TOED BOO	138.11	
164	01-11-60-6021	UNIFORMS	SHE1510	3919-8	PRO RESPIRATORS	114.72	
165	01-11-60-6021	UNIFORMS	WAT50	0253602	FIREMEN SAFETY BOOTS	438.00	
166	01-11-61-6100	TOOLS & SUPPLIES	DIG9423	10510	SHARP COPIER LEASE PAYMENT	168.00	
167	01-11-61-6100	TOOLS & SUPPLIES	DIG9423	10627	COLR & B&W COPIES	32.00	
168	01-11-61-6100	TOOLS & SUPPLIES	HDS9103	215787	WHITE;RED MARKING PAINT	456.00	
169	01-11-61-6101	PRINTING,POSTAGE, & STATIONE	WAR1601	2498463	MISC OFFICE SUPPLIES	132.20	
170	01-11-61-6102	GAS & OIL	BP7088	14/11	NOV GAS CHARGES	42.50	
171	01-11-62-6210	TELEPHONE FEES	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	140.02	
172	01-11-62-6211	ELECTRIC FEES	COM6111	14/10-S/L	OCT STREET LIGHTS	1,843.97	
173	01-11-62-6211	ELECTRIC FEES	COM6111	14/11-S/L	NOV STREET LIGHTS	117.96	
174	01-11-62-6220	MTCE-EQUIPMENT	AIR8025	9922806942	ACETYLENE;AIR;ARGON;OXYGEN/S	92.28	
175	01-11-62-6220	MTCE-EQUIPMENT	CAT6298	5956780	COUPLER;NIPPLE;ASSEMBLY/#4	179.83	
176	01-11-62-6220	MTCE-EQUIPMENT	CAT6298	5956780	PIP ADAPTER/#13	2.65	
177	01-11-62-6220	MTCE-EQUIPMENT	RUS2208	95444589	WIPER;MOTOR/#14	122.36	
178	01-11-62-6220	MTCE-EQUIPMENT	RUS2208	95450030	WIPER ARMS/#14	118.09	
179	01-11-62-6220	MTCE-EQUIPMENT	RUS2208	95463504	VISOR;HORN/#14	119.62	
180	01-11-62-6223	MTCE-STREET LIGHTS	AM8623	478606	ELEC CONTCT CLN;S/L	22.88	
181	01-11-62-6223	MTCE-STREET LIGHTS	ILST	41907	TSM 9 INTERSECTIONS	4,269.33	
182	01-11-62-6223	MTCE-STREET LIGHTS	PIN749	24931	REPL S/L POLE:512 S KENSINGT	1,304.00	
183	01-11-62-6259	TREE REMOVAL/MISC	TAM7500	99168	20 YDS TOP SOIL	366.00	
184	01-11-62-6260	TREE TRIMMING	CER2326	1651116	2 CASES BEE/WASP SPRAY	384.55	
185	01-11-62-6262	STREET REPAIRS	QUA2080	52061	7.41 TONS SURFACE	429.78	
186	01-11-66-6600	NEW EQUIPMENT	PIN749	24851	PULL CONDUIT;INST CAMERA	2,409.90	
187	01-11-66-6605	COMPUTER EQUIPMENT	DIG9423	10627	COLR & B&W COPIES	26.02	
188	01-12-60-6020	TRAINING & MEMBERSHIP	MUN	141107	MUNICIPAL CLERKS MEETING	25.00	
189	01-12-62-6271	ZBA/PLAN COMMISSION	SHA250	996483	LGL NTC RE: PC #221	208.87	
190	01-12-68-6860	PUBLIC/EMPLOYEE RELATIONS	ALP417	72701	VLG SPOKESMAN NOV-DEC 2014	1,113.59	

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GENERAL FUND							
191	01-19-62-6230	PROFESSIONAL SERVICES	COM3001	141108	DEC CABLE SVC/VH	12.63	
192	01-19-62-6230	PROFESSIONAL SERVICES	COM3002	0130848-14/12	DEC HIGH SPEED INTERNET/PD;F	152.35	
193	01-19-62-6230	PROFESSIONAL SERVICES	COM3002	0130871-14/12	DEC HIGH SPEED INTERNET/VH	152.35	
194	01-19-62-6283	CLAIMS - POLICE	IRMA	9121	VOLUNTEER COVERAGE/AUX POLIC	531.00	
195	01-19-68-6860	PUBLIC/EMPLOYEE RELATIONS	KRAMER	141101	20 YR EMPLOYEE SERVICE AWARD	200.00	
196	01-19-68-6860	PUBLIC/EMPLOYEE RELATIONS	LGPC	2014	EMPLOYEE HOLIDAY LUNCHEON	1,300.00	
197	01-00-00-1010	CASH-FNBLG-CHECKING			ACCOUNTS PAYABLE OFFSET		108,368.56
FOREIGN FIRE INSURANCE TAX FUN							
198	22-00-66-6600	NEW EQUIPMENT	COM3002	141109	CABLE SVC	97.04	
199	22-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		97.04
ETSB FUND							
200	24-00-62-6210	TELEPHONE	ATT911	14/847734606011	NOV E911 LINE SVC:847 734-60	1,363.56	
201	24-00-62-6210	TELEPHONE	ATT911	14/847734606311	NOV E911 LINE SVC:847 734-60	211.36	
202	24-00-62-6210	TELEPHONE	IPSAN	40371	ALERTS & BILLING	3,018.00	
203	24-00-62-6220	MTCE-EQUIPMENT	ATT9009	IL817923	2015 MAINTENANCE	12,618.79	
204	24-00-62-6220	MTCE-EQUIPMENT	MIN500	255508	DISPATCH COMPUTER PROBLEM	95.00	
205	24-00-62-6230	PROFESSIONAL SERVICES	GOV650	1-10-014-0134	PROF SVCS/1/3 FEE	4,167.00	
206	24-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		21,473.71
DRUG ENFORCEMENT FUND							
207	27-00-68-6899	MISCELLANEOUS EXPENDITURES	MUN7330	10314	OCT	650.00	
208	27-00-20-2001	DUE TO/FRM GENERAL FUND			ACCOUNTS PAYABLE OFFSET		650.00
CAPITAL PROJECTS FUND							
209	40-00-66-6644	NORTHEAST PLANNING AREA	KEN9575	20686	YMCA SITE DEVELOPMENT	252.71	
210	40-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		252.71
WATER FUND							
211	50-00-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	326.18	
212	50-00-60-6021	UNIFORMS	ARA2525	2078752108	10/14/14 UNIFORM SERVICE	40.80	
213	50-00-60-6021	UNIFORMS	ARA2525	2078780333	11/7/14 UNIFORM SERVICE	40.80	

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WATER FUND							
214	50-00-60-6021	UNIFORMS	ARA2525	2078789918	11/14/14 UNIFORM SERVICE	40.80	
215	50-00-61-6100	TOOLS & SUPPLIES	DIG9423	10510	SHARP COPIER LEASE PAYMENT	22.50	
216	50-00-61-6100	TOOLS & SUPPLIES	JAC6642	60621	DRILL BITS/#66	44.06	
217	50-00-62-6210	TELEPHONE	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	280.05	
218	50-00-62-6211	ELECTRIC FEES	COM6111	14/11-W	NOV PUMPING	69.12	
219	50-00-62-6220	MAINTENANCE - WATER	HAN1562	5460445	2 LOADS STONE CA7-STOCK	280.87	
220	50-00-62-6220	MAINTENANCE - WATER	HAR62133	MN00080066	INNHANCE SFTWR SUPPORT/2015	7,516.77	
221	50-00-62-6220	MAINTENANCE - WATER	HOM1831	2053764	RECIRC UTILITY HEATER/TILDEN	79.94	
222	50-00-62-6220	MAINTENANCE - WATER	RAI6784	313864	8" WTR PIPELINE XING AGREEMT	160.78	
223	50-00-62-6220	MAINTENANCE - WATER	ZIE2001	227161	B-BOX EXT;REP SLEEVES;ETC	696.78	
224	50-00-62-6230	PROFESSIONAL SERVICES	MGP701	2358	OCT 2014 GIS CONSORTIUM	2,416.40	
225	50-00-66-6605	COMPUTER EQUIPMENT	DIG9423	10627	COLR & B&W COPIES	27.00	
226	50-00-66-6692	METERS	HDS9103	15999	2 OMNI METERS;4 PIGGYBACK NU	2,035.64	
227	50-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		14,078.49

PARKING FUND

228	51-00-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	55.11	
229	51-00-61-6101	PRINTING,POSTAGE, & STATIONE	CAR7341	2954	REFILLS	492.92	
230	51-00-62-6210	TELEPHONE	ATT	14/708579263111	NOV GAR/ELEV SEC LINE 579-26	130.22	
231	51-00-62-6211	ELECTRIC FEES	COM6111	14/10-S/L	OCT PARKING LOT LIGHTS	682.02	
232	51-00-62-6211	ELECTRIC FEES	COM6111	14/11-S/L	NOV PARKING LOT LIGHTS	43.63	
233	51-00-62-6220	MTCE-EQUIPMENT	AM8623	477192	4 HEADLIGHT BULBS	27.96	
234	51-00-62-6225	MTCE. LA GRANGE RD DEPOT	ARA2525	2078752108	FLOOR MATS/TRAIN STATION	11.00	
235	51-00-62-6225	MTCE. LA GRANGE RD DEPOT	ARA2525	2078780333	FLOOR MATS/TRAIN STATION	11.00	
236	51-00-62-6225	MTCE. LA GRANGE RD DEPOT	ARA2525	2078789918	FLOOR MATS/TRAIN STN	11.00	
237	51-00-62-6230	PROFESSIONAL SERVICES	FAL5	20695	OCT PROSECUTING SVCS	120.00	
238	51-00-62-6280	MTCE. PARKING GARAGE	ARA2525	2078752108	FLOOR MATS/PARKING DECK	5.50	
239	51-00-62-6280	MTCE. PARKING GARAGE	ARA2525	2078780333	FLOOR MATS/PARKING DECK	5.50	
240	51-00-62-6280	MTCE. PARKING GARAGE	ARA2525	2078789918	FLOOR MATS/PARKING DECK	5.50	
241	51-00-62-6280	MTCE. PARKING GARAGE	CLO2784	5515	DEC MAINTENANCE	286.67	
242	51-00-62-6280	MTCE. PARKING GARAGE	THO699	11121406	REPAIR ALARM;REPL BATTERIES	340.00	
243	51-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		2,228.03

SEWER FUND

244	80-00-60-6010	INSURANCE-HOSPITALIZATION	COR2800	112014	BROKERAGE;CONSULT FEE NOV 20	31.43	
245	80-00-60-6021	UNIFORMS	ARA2525	2078752108	10/14/14 UNIFORM SERVICE	10.20	

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SEWER FUND							
246	80-00-60-6021	UNIFORMS	ARA2525	2078780333	11/7/14 UNIFORM SERVICE	10.20	
247	80-00-60-6021	UNIFORMS	ARA2525	2078789918	11/14/14 UNIFORM SERVICE	10.20	
248	80-00-61-6100	TOOLS & SUPPLIES	DIG9423	10510	SHARP COPIER LEASE PAYMENT	29.00	
249	80-00-62-6210	TELEPHONE	ATT	14/708579230011	NOV SHARE/CENTREX SYS:579-23	140.01	
250	80-00-62-6220	MTCE-EQUIPMENT	CAT6298	5956780	PIP ADAPTER/#13	2.65	
251	80-00-62-6220	MTCE-EQUIPMENT	KIE75	207225	FLAT TOP COVER	137.50	
252	80-00-62-6230	PROFESSIONAL SERVICES	MGP701	2358	OCT 2014 GIS CONSORTIUM	1,035.60	
253	80-00-66-6605	COMPUTER EQUIPMENT	DIG9423	10627	COLR & B&W COPIES	27.00	
254	80-00-20-2001	DUE T/F GENERAL FUND			ACCOUNTS PAYABLE OFFSET		1,433.79
INTERFUND SUMMARY							
255	01-00-20-2022	DUE T/F FOREIGN FIRE INSURAN			ACCTS PAYABLE INTERFUND OFFS	97.04	
256	01-00-20-2024	DUE T/F ETSB			ACCTS PAYABLE INTERFUND OFFS	21,473.71	
257	01-00-20-2027	DUE TO/FRM ASSET FORFEITURE			ACCTS PAYABLE INTERFUND OFFS	650.00	
258	01-00-20-2040	DUE T/F CAPITAL PROJECTS			ACCTS PAYABLE INTERFUND OFFS	252.71	
259	01-00-20-2050	DUE T/F WATER			ACCTS PAYABLE INTERFUND OFFS	14,078.49	
260	01-00-20-2051	DUE T/F PARKING METER			ACCTS PAYABLE INTERFUND OFFS	2,228.03	
261	01-00-20-2080	DUE T/F SEWER			ACCTS PAYABLE INTERFUND OFFS	1,433.79	
262	01-00-00-1010	CASH-FNBLG-CHECKING			ACCTS PAYABLE INTERFUND OFFS		40,213.77
TOTALS:						188,796.10	188,796.10

4-E.23

CURRENT BUSINESS

VILLAGE OF LA GRANGE
Community Development Department

BOARD REPORT

TO: Village President, Village Clerk
Board of Trustees and Village Attorney

FROM: Robert J. Pilipiszyn, Village Manager
Patrick D. Benjamin, Community Development Director
Angela M. Mesaros, Assistant Community Development Director

DATE: November 24, 2014

RE: **ORDINANCE – (1) ZONING MAP AMENDMENT AND (2) SPECIAL USE PERMIT, PLANNED DEVELOPMENT CONCEPT AND FINAL SITE PLANS FOR A MULTIPLE FAMILY RESIDENTIAL BUILDING, 40 S. Ashland, 40 Ashland LLC and Michael Streit.**

The applicant, 40 Ashland LLC, Michael Streit, the contract purchaser of the property at 40 S. Ashland Avenue proposes to construct a five story residential building with up to twenty three dwelling units. The subject property is the former location of a Hallowell & James Funeral home, which was demolished in 2006. The property is currently zoned C-1 Central Commercial.

The location of the property is a transitional area from C-1 Central Commercial to the east into R-8 multiple family residential to the west. In the vicinity of the proposed development are two 2-story single family residences directly to the west, zoned R-8 multiple family; directly across Ashland Avenue to the east is a parking lot and one-story Village-owned commercial building currently housing Aging Care Connections, zoned C-1 Central Commercial; Cossitt Elementary School, zoned IB Institutional Buildings District to the southeast; a 4-story multi-family building, zoned R-8 to the south across Harris Avenue; to the southwest is a two-story single family residential building zoned R-5 Single Family; and to the north is a four story commercial office building housing AT&T, zoned C-1 Central Commercial, and a five story multiple family building one block to the north.

While recognizing the predominately single-family character of the Village, the *Comprehensive Plan* identifies several areas of our community appropriate for multiple family developments in order to meet the first goal of the land use section of the Plan: to provide “*diverse housing options for Village residents.*” The subject property is identified in the Plan as medium-density residential. This proposal would be consistent with the recommendations of the Plan.

As a proposed small Planned Development, the project team requests zoning relief from provisions of the Code. Subject to the standards and limitations established in the Zoning Code, the Village Board has the authority, in connection with the granting of any Planned Development approval to alter, vary or waive provisions of this Code as they apply to an approved Planned Development.

A Planned Development is a distinct category of Special Use and has the same general purposes of all special uses. Section 14-502 of the Zoning Code states, "*Within a planned development, the traditional use, bulk, space and yard regulations may be relaxed if they impose inappropriate limitations on the proposed development or redevelopment of a parcel of land that lends itself to an individual planned approach.*"

As recommended in the Comprehensive Plan in 2005, the Planned Development Section of the Zoning Code was recently amended to create a new category of "small planned development" with specific regulations for smaller, infill development projects as distinct from larger, campus-style planned developments. A "Small PD" includes "*every project that includes less than 40,000 square of total land area.*" At 25,324 square feet, the proposed project falls within this category. Separate standards for Small PDs include new standards for excellence of design.

As allowed in the Zoning Code, the applicant participated in a pre-application meeting, designed a project, appeared once before the Plan Commission and withdrew the application after falling short of the four votes needed for a positive recommendation. The development team made modifications to the design and site plan and in September 2014, 40 Ashland LLC filed a new application with the Community Development Department for a Zoning Map Amendment, Special Use/Planned Development and Site Plan Approval.

A Plan Commission public hearing was held on all of the applications on October 14, 2014. At the public hearing, the applicant provided the following revisions from their original submission:

- Reduced the total number of dwelling units in the apartment building to 23 from 24.
- Increasing the following yards: corner side yard, slightly, to 11.83 from 11.5 ft., most notably the setback of the apartment building at the west property line has been increased to 22.0 feet from 15 feet.
- Increasing the number of off-street parking spaces to 37 from 35 and with the reduction of dwelling units, thus increasing the ratio to 1.60 from 1.46 parking spaces per dwelling unit.
- Recessed and decreased the area of the top (5th) floor, added banding and architectural features, and lightened color/materials in order to decrease the appearance of bulk.
- Created a designated vehicle/person drop-off and pick-up with two additional guest parking spaces as suggested by some attendees at the pre-application conference.

The project as proposed requires the modification of various Zoning Code standards as part of a planned development approval. Those modifications include an increase in the maximum allowable building height, a reduction in the minimum required lot area per dwelling unit, reduction in the required front, corner side and rear yards, increase in maximum allowable building coverage, an increase in the maximum total lot coverage and an identification sign.

The specific amount of relief is noted in the following table:

<i>Standard</i>	Required (R-8 Multiple Family District)	Proposed
<i>Maximum Height</i>	Maximum 3 stories or 45' 0" (whichever is less) May be increased to 70' in Planned Development	53.75 feet, 5 stories
<i>Minimum Lot Area Per Unit</i>	Minimum 1,300 sq. ft. per unit Permitted: 19 units (25,324 ft ² / 1,300 = 19.84 = 19 units)	23 units (1,101 sq. ft. per unit)
<i>Minimum Front Yard (Ashland Avenue)</i>	Minimum: 33 feet	8 inches from closest point*
<i>Minimum Corner Side Yard (Harris Avenue)</i>	Minimum: 17 feet (east side)	11.83 ft.
<i>Minimum Rear Yard (west side)</i>	Minimum: 26.09 ft.	22.40 ft.
<i>Maximum Building Coverage</i>	Maximum 40% Permitted: 10,129.60 ft²	60.6% 15,368 ft ²
<i>Maximum Total Lot Coverage</i>	Maximum 60% Permitted: 15,194.41 ft.²	75.3% 19,083 ft ²

*It should be noted that as currently zoned (C-1 Central Commercial) the building could have a zero lot line setback as of right.

As required for any modifications to the Zoning Code, the applicant has agreed to certain "compensating amenities" including the following: monetary contribution to construct a section of water main on Harris; monetary contribution to construct lining or replacement of the existing combined sewer on Ashland from Harris to the alley north of Harris, and reconstruction of existing sidewalks to provide ADA-compliant routes.

At the hearing, the Commissioners discussed the appropriateness of this use and determined that the project will not create any adverse impacts on the surrounding area. Key features of the Final Plan that were discussed at the hearing included site location in a mixed, transitional district, increased setback from west property line, recessed fifth floor, minimized height and bulk through design, quality of materials, and drainage plans.

After deliberation, the Plan Commission voted (5/1/1) to recommend that the zoning map amendment, special use permit, site plans and planned development final and concept plan be granted with certain conditions. A synopsis of the conditions is as follows:

- Submit all final site engineering plans, utility relocation plans, screening plans, and landscaping details for review and approval prior to issuance of a building permit.
- Provide covenants, conditions and restrictions to satisfaction of the Village.

Since the Plan Commission hearing the development team has provided building material samples to Village staff. Initially, staff had some concerns over the appearance of the brick, and therefore invited members of the Design Review Commission, including the Chairperson, as well as an architect from the Plan Commission to review the sample boards. All were in agreement with staff that some adjustment of the proposed materials was needed, especially the brick. We are pleased to report that the development team worked cooperatively with staff and Commissioners to propose new masonry materials for the building. This changes somewhat the color appearance from the renderings you have in the packet, however we anticipate material boards will be available at your meeting. We specifically would like to thank Design Review Chairperson Andrea Barnish, Design Review Commissioner and Architect Troy Pavelka, and Plan Commission Vice Chair Laura Weyrauch, who is also an architect, for their assistance in evaluating the material samples.

Village Attorney, Mark Burkland has prepared the attached ordinances for your consideration, granting: (1) Zoning Map Amendment, and (2) Special Use permit, site plans and planned development concept and final plans for a multiple family residential project at 40 S. Ashland. Staff concurs with the Plan Commission and recommends approval of the attached ordinance.

Representatives of 40 Ashland LLC will be in attendance at the meeting to answer any questions you may have regarding their applications.

VILLAGE OF LA GRANGE

ORDINANCE NO. O-14-_____

AN ORDINANCE GRANTING ZONING APPROVALS
FOR A MULTIPLE FAMILY RESIDENTIAL PROJECT
AT 40 SOUTH ASHLAND AVENUE

WHEREAS, Applicants 40 Ashland LLC, Mike Streit, and Kevin Anetsberger who owns the property commonly known as 40 South Ashland Avenue in the Village of La Grange (the "*Subject Property*") have filed applications for various zoning approvals; and

WHEREAS, the Subject Property, which is classified in the C-1 Central Commercial District of the La Grange Zoning Code, is depicted and legally described in Exhibit A attached to and made a part of this Ordinance by this reference; and

WHEREAS, the Applicants propose to construct a 23-unit multiple family residential building with an integrated parking garage and other facilities (the "*Project*"); and

WHEREAS, the Applicants filed applications with the Village seeking (i) approval of a Zoning Map amendment to reclassify the Subject Property into the R-8 Multiple Family Residential District from its current classification in the C-1 Central Commercial District, (ii) a special use permit authorizing a small planned development, (iii) approval of a site plan, and (iv) approval of planned development concept and final plans, including modifications of certain regulations in the Zoning Code to accommodate the development of the Project on the Subject Property (the "*Applications*"); and

WHEREAS, the La Grange Plan Commission conducted a public hearing to consider the Applications on October 14, 2014, pursuant to notice thereof properly published in the Suburban Life; and

WHEREAS, the Plan Commission, after considering all of the testimony and evidence presented at the public hearing, recommended approval of the Applications subject to certain conditions, all as set forth in the Plan Commission's Findings for PC Case #220 dated October 14, 2014; and

WHEREAS, the President and Board of Trustees of the Village of La Grange have determined that the Applications satisfy the standards established in Sections 14-401, 14-402, 14-501, and 14-506 through 14-508 of the Zoning Code governing special use permits, site plans, and small planned developments, subject to the conditions set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of La Grange, County of Cook and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are incorporated into this Ordinance as findings of the President and Board of Trustees.

Section 2. Approval of Zoning Map Amendment. The Board of Trustees, under the authority vested in it by the laws of the State of Illinois and Chapter 14, Part VI of the La Grange Zoning Code, amends the Village's Zoning Map to reclassify the Property into R-8 Multiple Family Residential District.

Section 3. Approval of Special Use Permit and Planned Development. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Sections 14-401, 14-501 and 14-506 through 14-508 of the Zoning Code, hereby approves a special use permit authorizing a small planned development on the Subject Property and approves the planned development concept plans and final plans dated September 15, 2014, in the form attached to and by this reference incorporated into this Ordinance as part of Exhibit B (the "*Approved Development Plans*"). The approvals granted in this Section 3 are subject to the conditions stated in Section 6 of this Ordinance.

Section 4. Approval of Site Plan. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Section 14-402 of the Zoning Code, hereby approves a site plan for the Project in the form attached to this Ordinance as part of Exhibit B (the "*Approved Site Plan*"), subject to the conditions stated in Section 6 of this Ordinance.

Section 5. Modifications of Certain Regulations. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Section 14-508 of the Zoning Code, hereby approves the following modifications to the regulations of the Zoning Code as they apply to the Project, subject to the conditions set forth in Section 5 of this Ordinance:

- A. Height. The maximum height for the Subject Property is authorized to be not more than 53' 8" and five stories.
- B. Lot Area Per Unit. The minimum lot area per multiple family dwelling unit for the Project is authorized to be not less than 1,101 square feet.
- C. Minimum Front Yard. The required minimum front yard is authorized to be not less than 8 inches from Ashland Avenue at its closest point, but only as depicted on the Approved Site Plan.

- D. Minimum Corner Side Yard. The required minimum corner side yard is authorized to be not less than 11' 10" from Harris Avenue, but only as depicted on the Approved Site Plan.
- E. Minimum Rear Yard. The required minimum rear yard is authorized to be not less than 22' 5" from west property line, but only as depicted on the Approved Site Plan.
- F. Maximum Building Coverage. The maximum building coverage for the Subject Property is authorized to be not more than 60.6 percent, which authorizes building coverage of not more than 15,363 square feet, based on the total lot area of the Subject Property of 25,324 square feet.
- G. Maximum Total Lot Coverage. The maximum total lot coverage for the Subject Property is authorized to be not more than 75.3 percent, which authorizes lot coverage of not more than 19,083 square feet, based on the total lot area of the Subject Property of 25,324 square feet.
- H. Signs. The sign regulations in Article XI of the Zoning Code are modified to authorize (i) an identification sign carved into the masonry above the entry door on Ashland Avenue and (ii) two cast bronze, directional plaques reading "private drive" and "private parking," all as provided in building renderings attached to and by this reference incorporated into this Ordinance as Exhibit C.

Section 6. Conditions On Approvals. The approvals of the special use permit, Approved Development Plans, and Approved Site Plan in Sections 2 and 3 of this Ordinance, and the modifications granted in Section 4 of this Ordinance, are granted expressly subject to all the following conditions:

- A. Lighting Plans, Photometrics. The Applicants must submit plans depicting (i) the locations, sizes, and arrangement of all exterior lighting, (ii) specifications and photographs of all proposed fixtures and bulbs, and (iii) photometrics data, all in compliance with Village standards, prior to issuance of any building permit for the Project.
- B. Monetary Contribution to Public Improvements. The Applicants must contribute to the Village, prior to issuance of any building permit for the Project, the sum of \$86,000 to offset the costs of (1) construction of a section of water main on Harris Avenue intended to serve the Subject Property and adjacent property and (2) the lining or replacement of an existing combined sewer main on Ashland Avenue between Harris Avenue and the alley north of Harris Avenue.

- C. Cash Escrow. The Applicants must deposit with the Village, prior to issuance of any building permit for the Project, cash in the amount of \$10,000, which the Village will hold in escrow to reimburse the Village for all costs and expenses incurred by the Village for third-party consultant services and miscellaneous costs related to the Project. Third-party consultant services include (i) engineering reviews, inspections, and advice, (ii) legal consultations, reviews, and advice, and (iii) similar services. Miscellaneous costs include copying by outside copying services, recording fees, costs of deliverables from third-party consultants, and similar costs. At any time the cash escrow is reduced to \$3,000 or less, the Applicants must deposit cash in the amount necessary to replenish the cash escrow to \$5,000 or some less amount approved by the Village in its discretion. The Village will provide the Applicants with a statement of withdrawal each time the Village withdraws money from the cash escrow.
- D. Sidewalks. The Applicants must reconstruct the existing sidewalks along Ashland Avenue and Harris Avenue extending the entire length and width of the Subject Property. The reconstructed sidewalks must be compliant with all applicable ADA and State of Illinois accessibility standards. The Applicants must submit plans and specifications for the reconstruction of the sidewalks for Village review and approved, prior to issuance of any building permit for the Project.
- E. Construction Staging Plan. Prior to issuance of any building permit for the Project, the Applicants must submit prepare to the Village for review and approval a construction staging plan that includes, among other things delivery routes, construction traffic routes, construction parking, and street clean-up schedules.
- F. Grading and Final Engineering Plans. All final grading and site engineering plans for the Project are subject to review and approval by the Village prior to issuance of any building permit for the Project.
- G. Storm Water Management. The following storm water standards apply to the Project:
- (i) The maximum storm water release rate from the site may not exceed the lesser of 0.3 cubic feet per second per acre or the actual release rate from a 3-inch diameter restrictor.
 - (ii) On-site storm water detention must be provided for the 24-hour, 100-year storm, based on Illinois State Water Survey

Technical Bulletin 70 Northeastern Illinois rainfall. Runoff hydrograph calculations (TR20 or TR55) must be used.

- (iii) The minimum freeboard must be not less than 3 inches, that is, from the top of the high water elevation in a clogged restrictor condition to the lowest garage floor elevation.
- H. Underground Utilities. The Applicants must submit plans depicting the burial of all on-site utility lines, for Village review and approval, prior to issuance of any building permit for the Project.
- I. Landscaping Plans. The Applicants must submit detailed final landscaping plans for Village review and approval, including among other things a tree preservation plan. The final plans must be submitted with the application for the first building permit for the Project. The final plans must be approved by the Village prior to issuance of any building permit for the Project.
- J. Building Materials. The Applicants must submit, for Village review and approval, samples of all exterior building materials to be used in the Project, which materials must conform with the building renderings in Exhibit C. Each sample must be identified fully, including as applicable its make, manufacturer, model, composition, color designation, and other details. The samples must be approved by the Village prior to issuance of any building permit for the Project.
- K. Screening Plans. All refuse containers related to the Project must be fully enclosed by an opaque fence, wall, or densely planted evergreens, of a height sufficient to completely screen the containers. The Applicants must submit a detailed, dimensioned plan for the enclosure, including its location on the Subject Property, materials, and hardware.
- L. Condominium Rules & Regulations. The Applicants must provide a complete set of association rules and regulations for the Project, which rules and regulations must provide, in a manner acceptable to the Village, for:
 - (i) Long-term maintenance and upkeep of common areas, landscaping, the building, building systems, and building amenities;
 - (ii) Maintenance and upkeep of individual dwelling units, including appliances, fixtures, walls, floors, ceilings, and general maintenance;

- (iii) Restrictions on uses of the interior and exterior of the building, exterior building walls, the building roof, balconies, and exterior windows;
 - (iv) Exterior and interior noise restrictions;
 - (v) Limitations and prohibitions on exterior lights, signs, banners, antennas, decorations, bicycle storage, and similar matters;
 - (vi) Prohibitions on non-residential or short-term leases or uses of dwelling units; and
 - (vii) Effective mechanisms and processes for investigating rules violations, including access to dwelling units, and for enforcing rules, including fines and legal remedies.
- M. Soil Data. Prior to issuance by the Village of any building permit for the Project, the Applicants must take soil samples and perform any other necessary geotechnical investigations of the Property necessary to establish the physical properties and bearing capacities of the soil on and in which Project improvements will be made. All test results, reports, and data must be provided to the Village. The data also must include the calculations of the magnitudes of the loads to be supported.
- N. Other Government Permits. The Applicants must secure all permits required by governmental agencies with jurisdiction over any elements of the Project, including without limitation the Metropolitan Water Reclamation District of Greater Chicago, the Illinois Department of Transportation, and the Illinois Environmental Protection Agency.
- O. Fire Department Review. The Applicants must submit, for review and approval by the La Grange Fire Department, plan depicting hydrant spacing, location, and connections. The plan must be approved by the Village prior to issuance of any building permit for the Project.
- P. Signs. No signs are permitted within the Project until after sign applications, plans, and specifications are submitted by the Applicants to the Village and approved by the Village, all in accordance with Village sign standards and requirements.
- Q. Building Permit Applications, Permits Required. This Ordinance does not authorize construction on the Subject Property. The Applicants, prior to commencement of any construction on the Subject Property, must submit all necessary applications to the Village and secure all required permits from the Village.

R. Compliance with Approved Plans, Conditions, Other Requirements of Law. All work and development on the Subject Property must comply with the Village-approved plans and specifications therefor, the terms and conditions of this Ordinance, and all applicable State of Illinois and Village laws, codes, ordinances, and regulations.

Section 7. Violation of Condition or Law. Any violation of any term or condition of this Ordinance or any applicable law, code, ordinance, or regulation will be grounds for rescission by the Board of Trustees of the approvals made in this Ordinance.

Section 8. Effective Date. This Ordinance will be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 20__.

AYES:

NAYS:

ABSENT:

APPROVED this ____ day of _____ 20__.

Thomas Livingston, Village President

ATTEST:

John Burns, Village Clerk

EXHIBIT A

Depiction and Legal Description of Subject Property

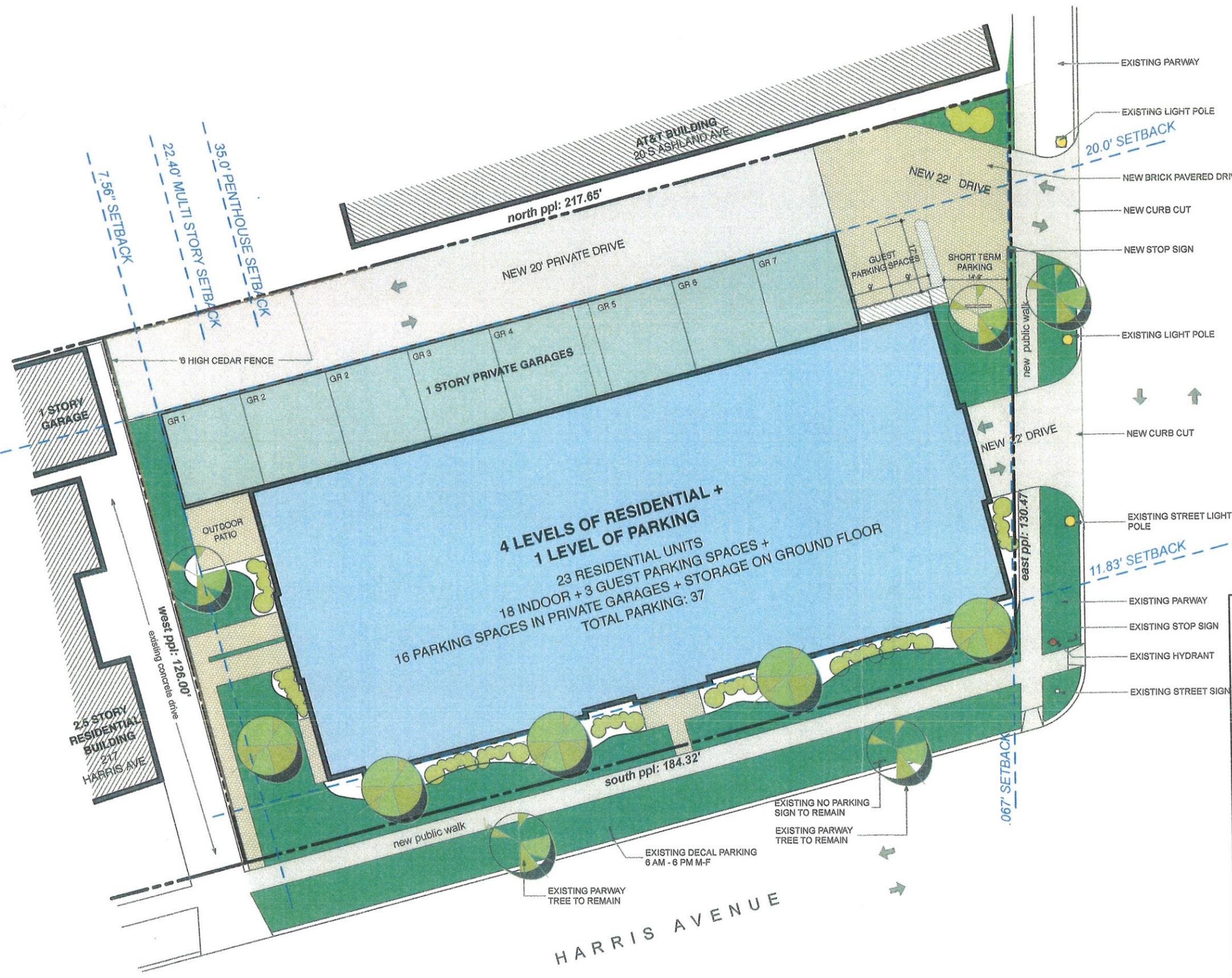
Lots 19, 20, 21 and 22 in Block 26 in La Grange, Being a Subdivision of the East Half of the Southwest Quarter and Part of the Northwest Quarter, South of the Chicago, Burlington and Quincy Railroad, in Section 4, Township 38 North, Range 12 East of the Third Principal Meridian, in Cook County, Illinois.

EXHIBIT B

Approved Development Plans and Approved Site Plan

[see attached pages]

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SITE DATA:

LOT DIMENSIONS : 184.32' x 130.47' x 217.65' x 126.0'

LOT AREA /
 USABLE OPEN SPACE: 25,355 SQ FT
 0.582 ACRES

PROPOSED :

LOCATION: 40 SOUTH ASHLAND AVENUE
 BUILDING SIZE: 164'-0" x 93'-10"
 USE: R-8 MULTIPLE - FAMILY RESIDENTIAL
 BUILDING HEIGHT: 5 stories (53'-8")
 FAR: 56,176 (gross) / 25,355 SQ FT
 = 2.22
 BUILDING COVERAGE: 15,963 SQ FT (gross)
 TOTAL IMPERVIOUS: 19,083 SQ FT

PROPERTY INDEX NUMBERS:
 18-04-124-020-0000
 18-04-124-021-0000
 18-04-124-022-0000
 18-04-124-023-0000

Revised for PD	09/15/14
Revised for PD	08/06/14
Issue for Site Plan	
Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 site plan

SK1.1

Sheet No.

SITE PLAN
 40 S. Ashland Avenue, LaGrange, IL 60525



5-A.13

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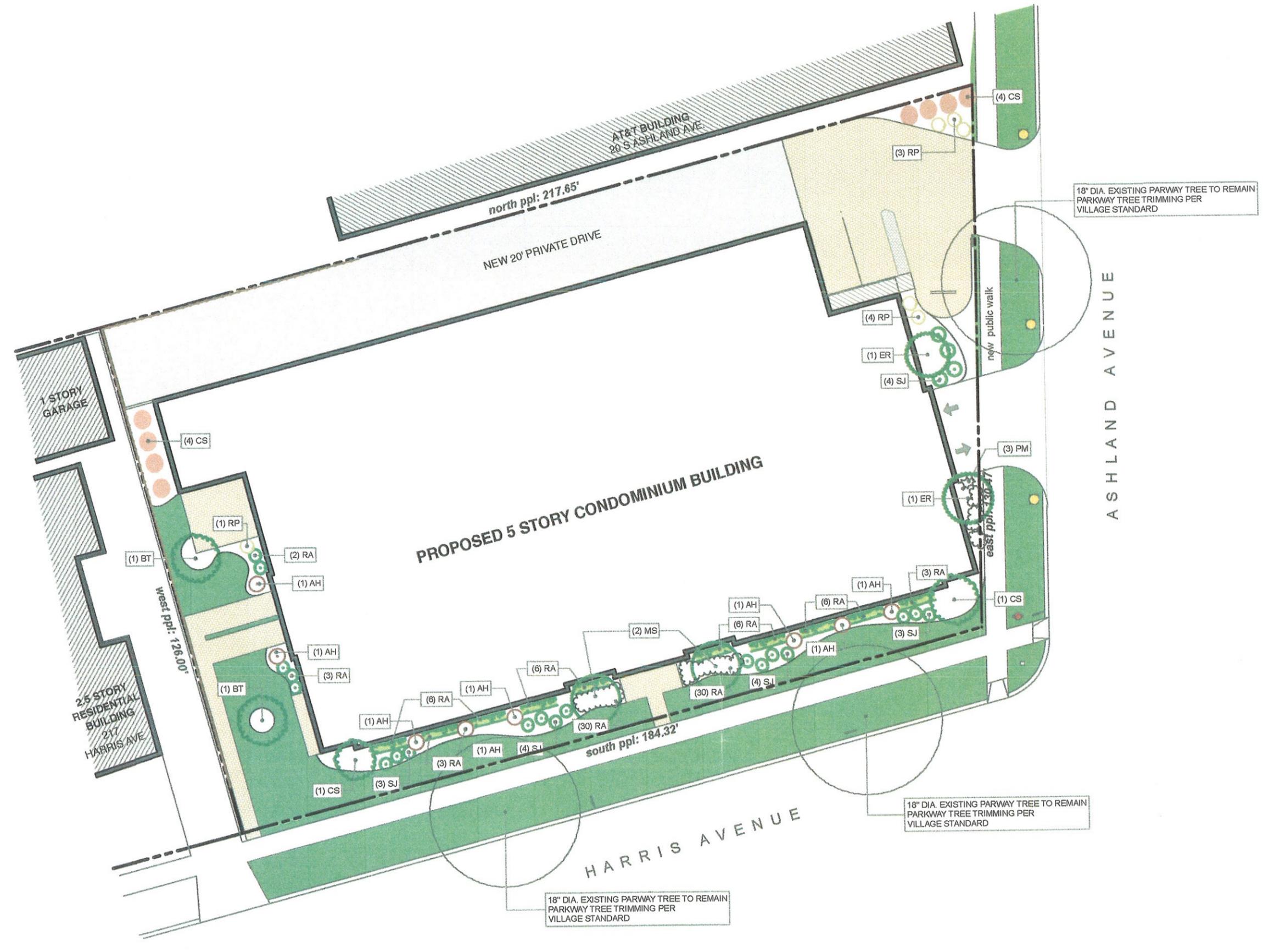
Revised for PD	09/15/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

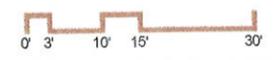
Sheet Title
 landscaping plan

SK1.10

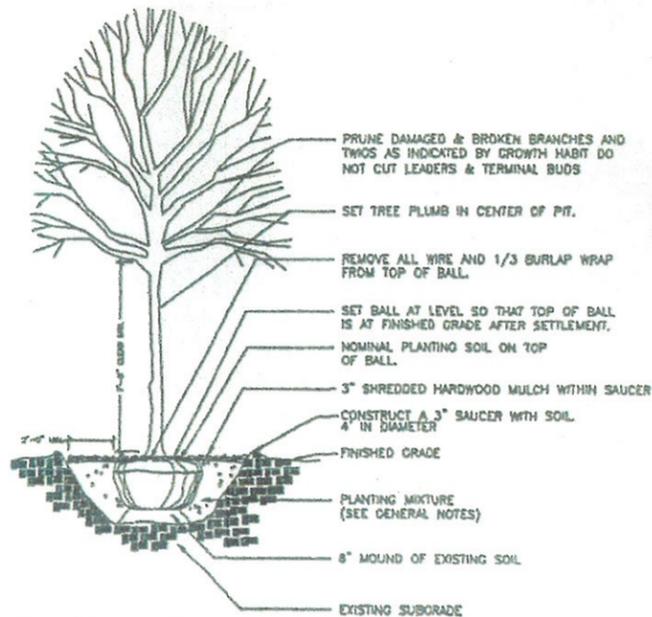
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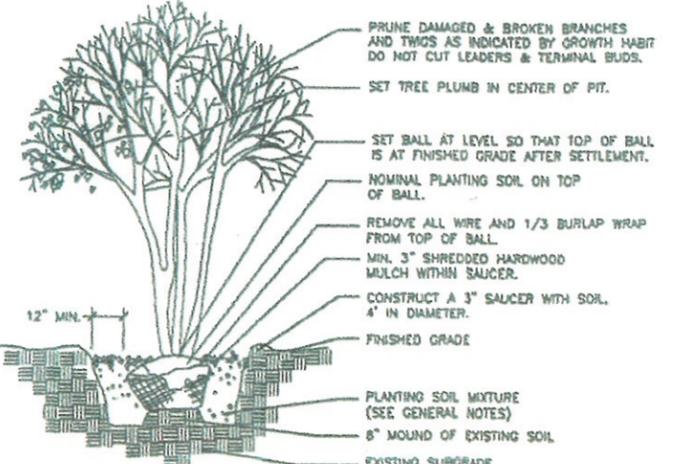
SITE PLAN
 40 S. Ashland Avenue, LaGrange, IL 60525



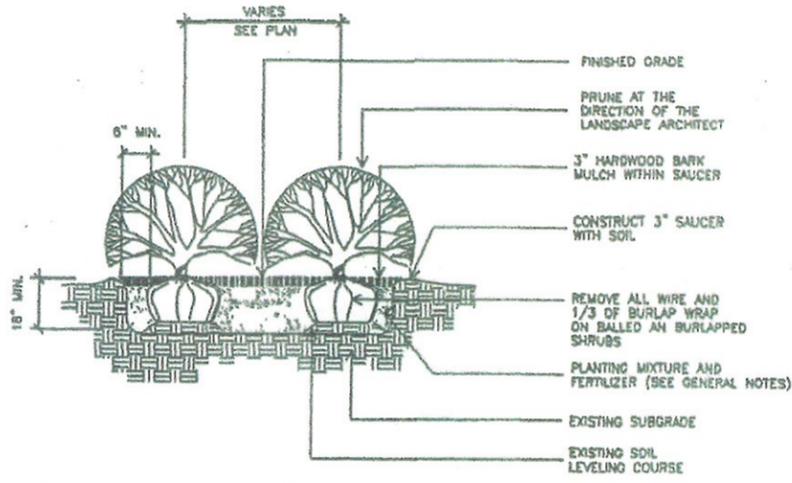
5-A-14



1 Deciduous Tree Planting Detail
No Scale



2 Multi-Stem Tree Planting Detail
No Scale

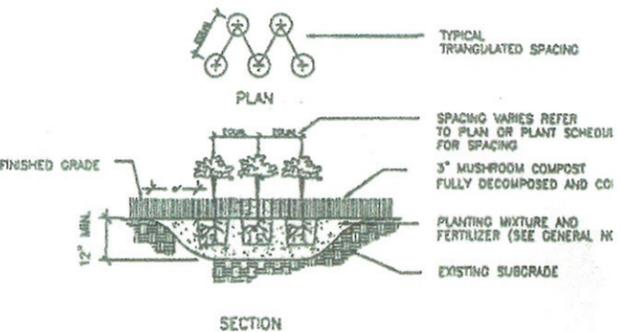


3 Shrub Planting Detail
No Scale

NOTE:
ALL PRUNING MUST BE DONE AFTER PLANTING AND AT THE DIRECTION OF THE LANDSCAPE ARCHITECT. REMOVE ENOUGH BRANCHES (NOT JUST END TIPS) TO REDUCE FOLIAGE. RETAIN NATURAL CHARACTER AND GENERAL SHAPE OF TREE. TOP OF BALL SHALL BE AT THE SAME ELEVATIONS AS FINISHED GRADE.
WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, NOTIFY LANDSCAPE ARCHITECT, ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

GENERAL NOTES:

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY JULLIE, TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
- VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
- ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
- CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS. WHERE NECESSARY TO ACHIEVE PROPER DRAINAGE, UNDER DRAINAGE FOR TREE PITS SHALL BE INSTALLED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 4" OF SHREDDED HARDWOOD MULCH.
- ALL SODDED LAWN TO BE PLACED ON 4" DEPTH OF TOPSOIL.
- SIZES SHOWN ON PLANTING PLAN ARE MINIMUM ACCEPTABLE SIZES.
- LANDSCAPE CONTRACTOR SHALL WARRANT ALL TREES, SHRUBS, VINES AND GROUNDCOVERS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, CHIPS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES AND SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS, BLAGS AND GROUND COVERS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND AND TWO (2) PARTS DECOMPOSED MUSHROOM COMPOST. SOIL SHALL MEET THE FOLLOWING REQUIREMENTS: SOIL COMPOSITION--45-77% SILT, 0-25% CLAY, 25-33% SAND; SOIL ACIDITY: Ph 6.0-7.0; SOIL ORGANIC CONTENT: THREE (3) TO FIVE (5) PERCENT.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN AS SPECIFIED ON PLANTING PLAN. ALL PLASTIC ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
- LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD AFTER PLANTING.
- ALL NEW AND TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTIDESICCANT WITHIN TWENTY FOUR HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "MILTFRUF."
- ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
- LONG TERM WATERING OF EACH TOWNHOME GREEN SPACE WILL BE BY INDIVIDUAL HOME OWNERS AND COMMON AREAS BY THE TOWNHOME ASSOCIATION.



4 Ground Cover Planting Detail
No Scale

PLANTING SCHEDULE	QTY.	BOTANICAL NAME	COMMON NAME
DECIDUOUS AND ORNAMENTAL TREES			
BT	2	Betula nigra	river birch
CS	2	Picea pungens 'Fat Albert'	Colorado spruce
MS	3	Magnolia stellata 'Royal Star'	star magnolia
ER	2	Fabaceae	eastern redbud
CS	8	Cornus sericea 'Allemands'	red twig dogwood
AH	8	Juniperus communis 'Gold Cone'	juniper
RA	30	Ribes alpinum	Alpine currant
SJ	23	Spiraea japonica 'Norman'	Japanese spirea
PM	3	Pinus mugo 'Mops'	dwarf mountain pine
PERENNIALS AND GROUND COVER			
EF	60	EUONYMUS FORTUNEI 'COLORATUS'	wintercreeper euonymus

john conrad schiess architect
 945 Home Avenue Oak Park Illinois 60304
 tel: 708.383.5822 fax: 708.383.5884 john@jcsarchitect.com

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Revised for PD	09/15/14
Issue for Site Plan	05/28/14
Approval	05/28/14
Issue for Preliminary Review	05/08/14
Date	

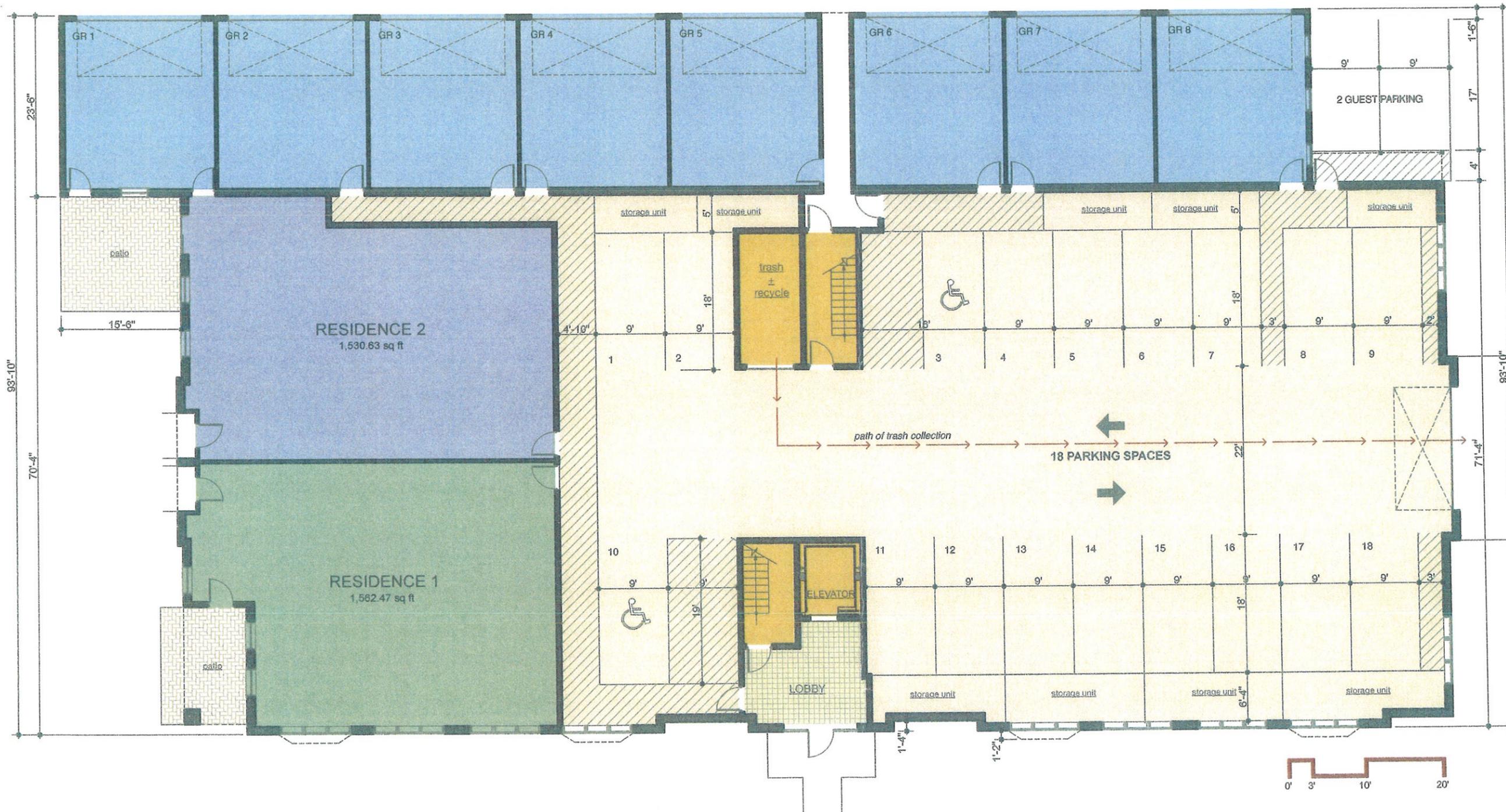
The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 landscaping schedule +
 details

SK1.11

Sheet No.

5-A.15



GROUND FLOOR PLAN

40 S. Ashland Avenue, LaGrange, IL 60525

5-A.16

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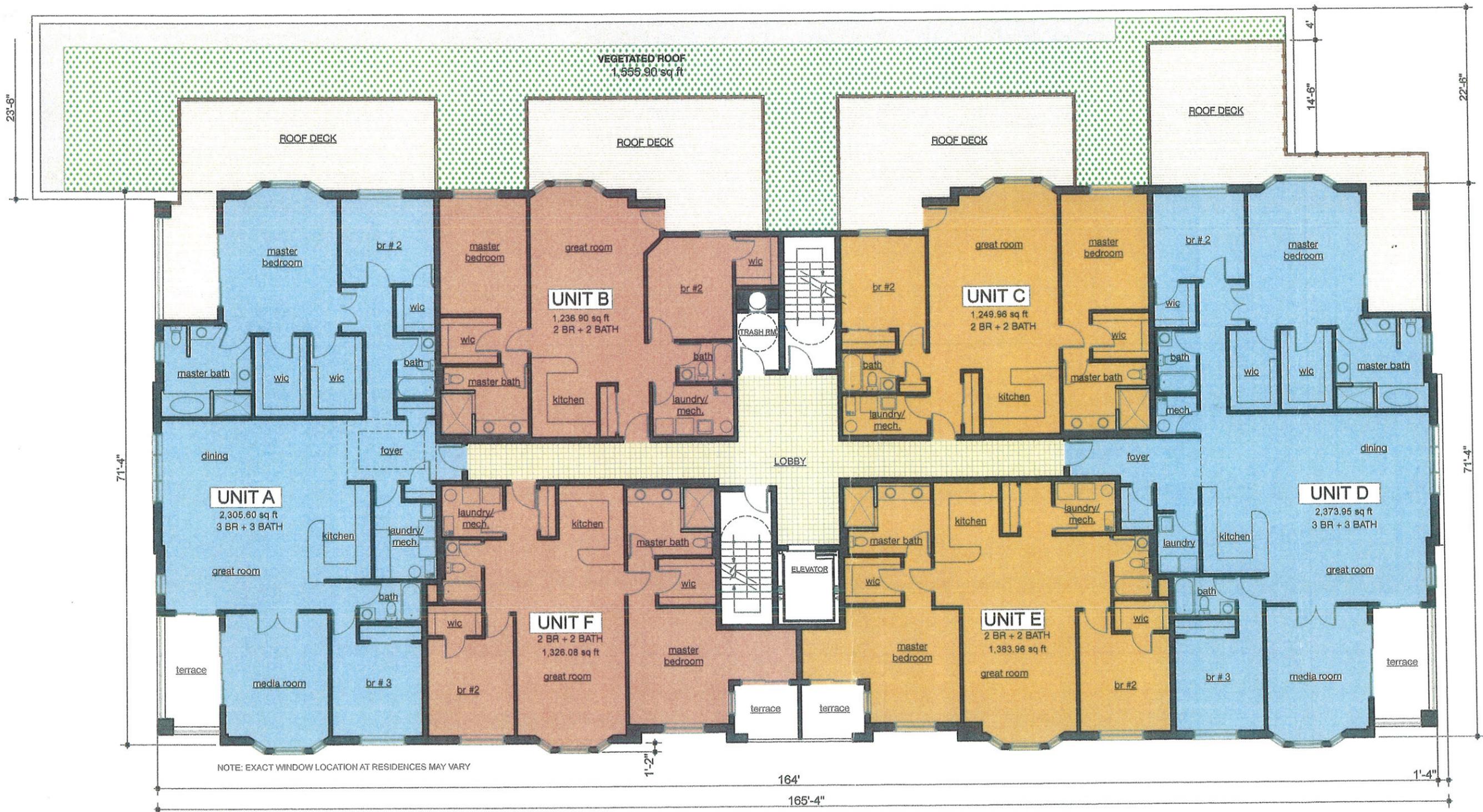
Revised for PD	09/15/14
Revised for PD	08/06/14
Issue for Site Plan	
Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 first floor

SK1.2

Sheet No.

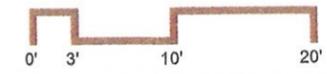


NOTE: EXACT WINDOW LOCATION AT RESIDENCES MAY VARY



2nd RESIDENTIAL FLOOR

40 S. Ashland Avenue, LaGrange, IL 60525



5-A.17

john conrad schiess architect

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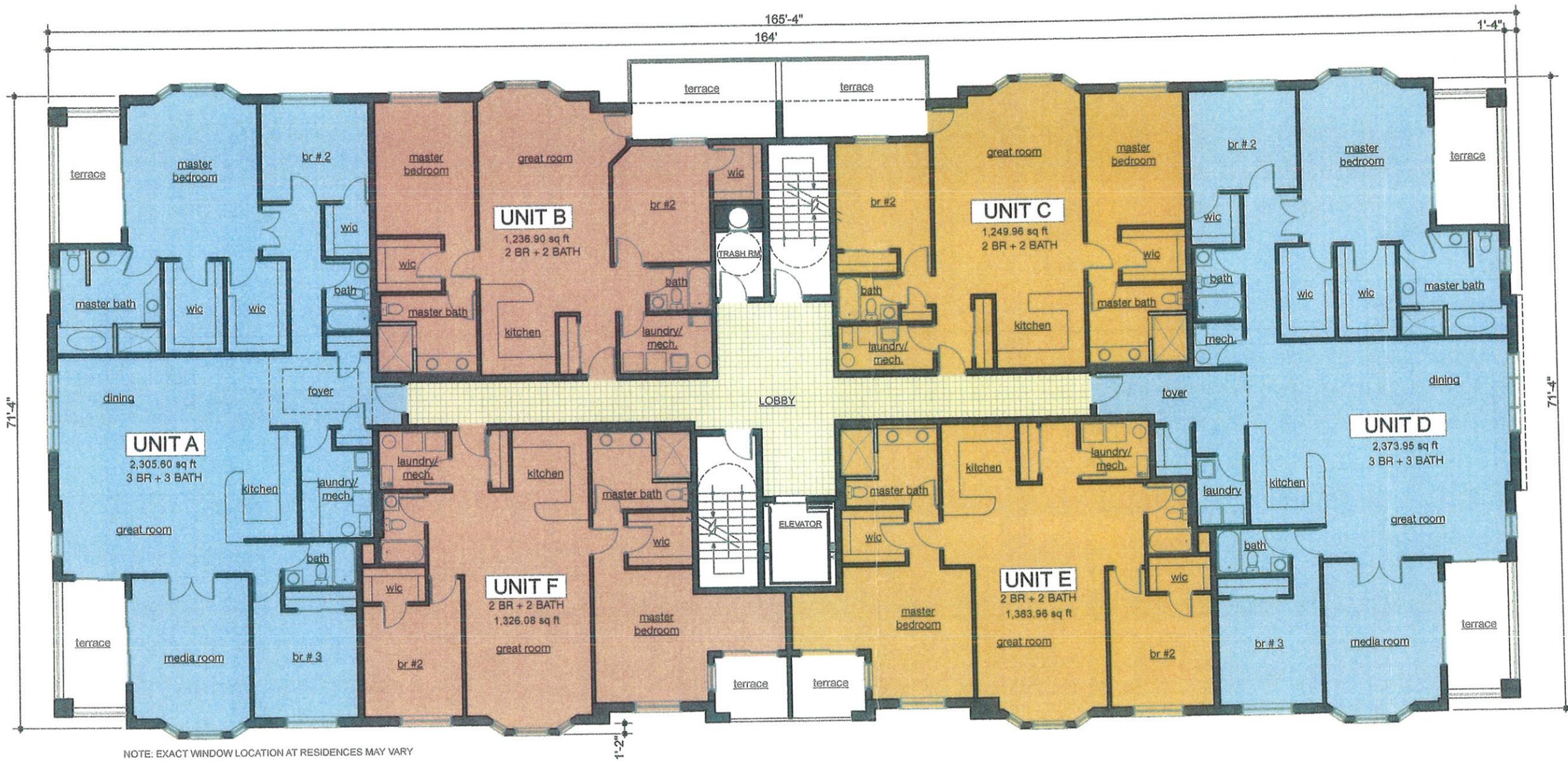
Revised for PD	09/15/14
Revised for Site Plan	
Approval	07/01/14
Issue for Site Plan	
Approval	05/28/14
Issue for Preliminary	
Review	05/08/14
	Date

The RESIDENCES
at
ASHLAND AVENUE
40 S. Ashland Avenue
La Grange, Illinois

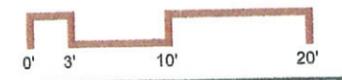
Sheet Title
floor plans

SK1.3

Sheet No.



3rd-4th RESIDENTIAL FLOOR
 40 S. Ashland Avenue, LaGrange, IL 60525



john conrad schiess architect
 905 Home Avenue Oak Park Illinois 60304
 tel: 708.383.5622 fax: 708.383.5684
 john@schia.com

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Revised for PD	09/15/14
Revised for Site Plan	
Approval	07/01/14
Issue for Site Plan	
Approval	05/28/14
Issue for Preliminary Review	05/08/14
Date	

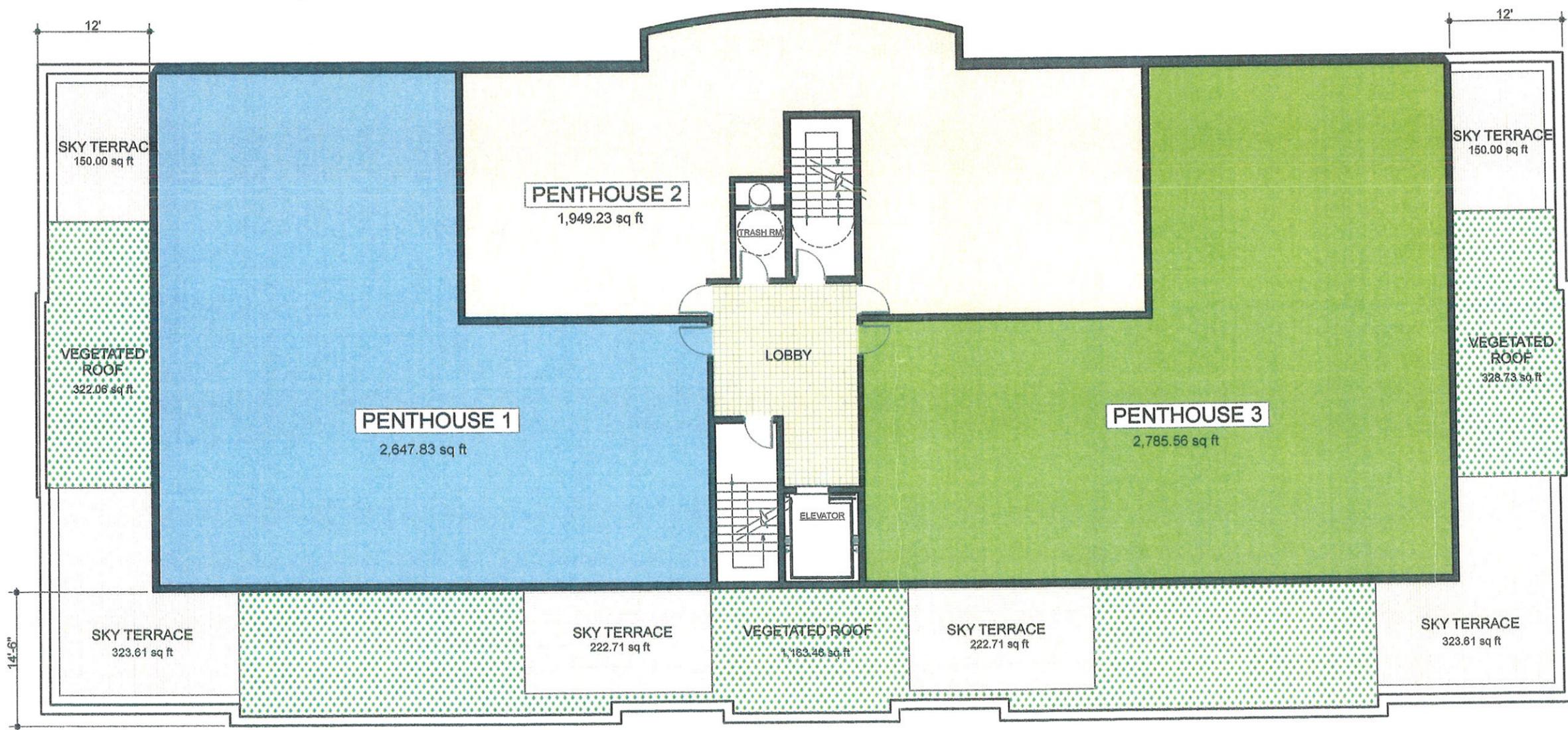
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 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 floor plans

SK1.4

Sheet No.

5-A.18



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Revised for PD	09/15/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

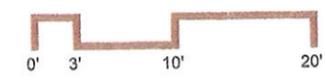
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 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 floor plans

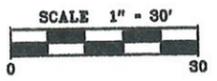
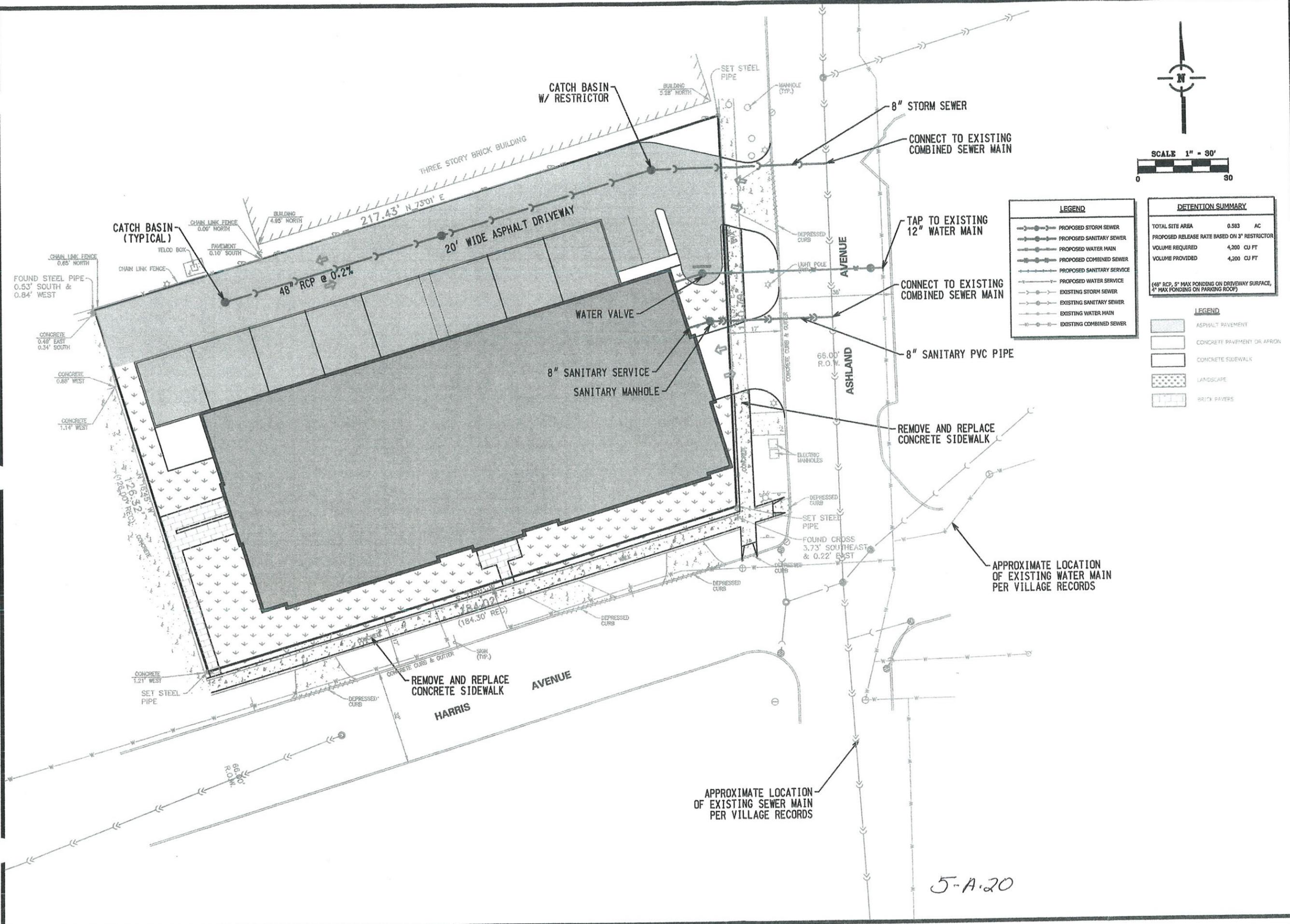
SK1.5

Sheet No.

PENTHOUSE RESIDENTIAL FLOOR
 40 S. Ashland Avenue, LaGrange, IL 60525



5-A.19



LEGEND	
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED COMBINED SEWER
	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING COMBINED SEWER

DETENTION SUMMARY	
TOTAL SITE AREA	0.583 AC
PROPOSED RELEASE RATE BASED ON 3\"/>	
VOLUME REQUIRED	4,200 CU FT
VOLUME PROVIDED	4,200 CU FT

(48\"/>

LEGEND	
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT OR APRON
	CONCRETE SIDEWALK
	LANDSCAPE
	BRICK PAVERS

5-A-20

CONCEPTUAL UTILITY PLAN

**40 S. ASHLAND AVENUE
LAGRANGE, ILLINOIS**

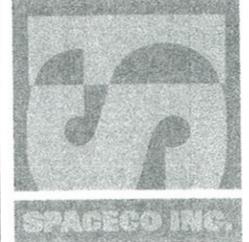
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

JOB NO: 8187

FILENAME: 8187C-UT.DGN

DATE: 10/03/14

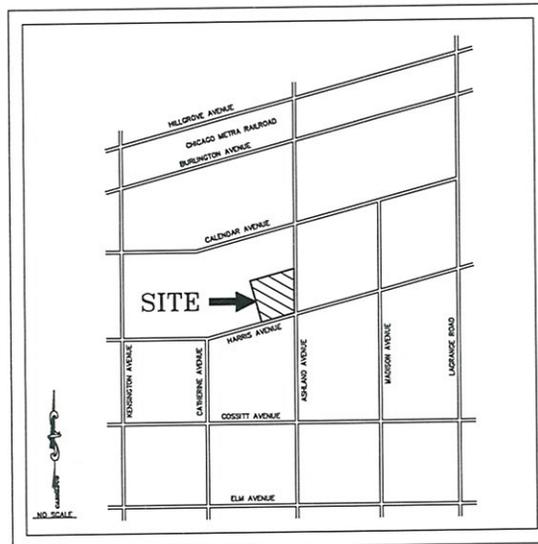


SITE/GRADING PLAN FOR 40 S. ASHLAND AVENUE

INDEX TO SHEETS

- 1.) COVER SHEET
- 2.) TOPOGRAPHIC SURVEY & EROSION CONTROL PLAN
- 3.) GEOMETRIC PLAN
- 4.) SITE/GRADING PLAN
- 5.) STORMWATER DETENTION PLAN
- 6.) STORM CHAMBER DETAILS
- 7.) STORM CHAMBER DETAILS
- 8.) CONSTRUCTION NOTES & DETAILS

LOCATION MAP



LEGAL DESCRIPTION OF SITE

LOTS 19, 20, 21 AND 22 IN BLOCK 26 IN LAGRANGE, A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER LYING SOUTH OF CHICAGO BURLINGTON AND QUINCY RAILROAD OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SITE=25,329 SQ.FT.

TOPOGRAPHICAL SURVEY AND GRADING PLAN LEGEND

Description	Proposed	Existing
TOPOGRAPHIC CONTOUR	---(solid)---	---(dashed)---
SANITARY & COMBINED SEWER	---(solid)---	---(dashed)---
STORM SEWER	---(solid)---	---(dashed)---
WATER MAIN	---(solid)---	---(dashed)---
SANITARY SEWER SERVICE	6" PVC 24" (100-30)	---
WATER SEWER	1-1/2" CPVC (100-30)	---
CURTAIN DRAIN	---	---
SANITARY MANHOLE	○	○
STORM MANHOLE	○	○
CATCH BASIN	○	○
CURB INLET	○	○
YARD INLET	○	○
FLARED END SECTION	○	○
WATER VALVE	○	○
FIRE HYDRANT	○	○
GAS VALVE	○	○
POWER POLE	○	○
LIGHT POLE	○	○
TRAFFIC SIGNAL	○	○
UTILITY STRUCTURE	○	○
SPOT ELEVATION	865.0 +	865.0 +
EROSION CONTROL / SILT FENCE	---	---
STAKED STRAW BALE OR SILT FENCE	---	---
AROUND STORM SEWER STRUCTURE	---	---
DRAINAGE FLOW ROUTE	---	---
SUMP PUMP DISCHARGE	---	---
DOWNSPOUT DISCHARGE	---	---
RUNOFF DIVERSION	---	---
LANDSCAPE BARRIER	---	---
CONCRETE CURB, INTERLOCKING BLOCK WALL, OR LAWN GRASS, TREE	---	---
TREE TO BE PROTECTED	---	---
TREE TO BE REMOVED	---	---

5-A.21

STATE OF ILLINOIS) SS
COUNTY OF DU PAGE) SS

WE HAVE REVIEWED THE LOCAL TOPOGRAPHY AND IDENTIFIED ANY LOCAL DEPRESSIONAL AREAS. FURTHERMORE WE HAVE DETERMINED THAT THIS TECHNICAL SUBMISSION INCORPORATES PROPOSED IMPROVEMENTS THAT WILL NOT DISPLACE ANY FLOODING OR STANDING WATERS, AND WILL NOT CHANGE THE DRAINAGE OF SURFACE WATERS, AND THAT ADEQUATE PROVISIONS HAVE BEEN INCORPORATED INTO THE PROPOSED SITE GRADING SO AS TO NOT ADVERSELY AFFECT THE DRAINAGE OF STORMWATER TO, OR FROM THE SITE AND ADJUTING OR ADJACENT PROPERTIES.

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, AN ILLINOIS REGISTERED LAND SURVEYOR, HAS SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF.

SIGNED AND SEALED AT WHEATON, ILLINOIS THIS 19th DAY OF November, A.D. 2014.
BY _____ ILLINOIS REGISTERED LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2014

SITE BENCHMARK ELEV.=640.50 (NAVD 85)
NORTHWEST BENCHMARK BOLT OF FIRE HYDRANT
ON THE SOUTHEAST CORNER OF SITE.



**WARNING
CALL BEFORE
YOU DIG**

NOTE:
48 HOURS (2 WORKING DAYS) PRIOR TO BEGINNING ANY CONSTRUCTION,
THE CONTRACTOR SHALL NOTIFY JULLIE, 1-800-892-1010
JULLIE WILL ESTABLISH ON THE GROUND, THE LOCATION OF UNDERGROUND
PIPES, CONDUITS, OR CABLES ADJOINING OR CROSSING PROPOSED CONSTRUCTION.

P.L.N.: 18-04-124-020
P.L.N.: 18-04-124-021
P.L.N.: 18-04-124-022
P.L.N.: 18-04-124-023

Date	11/13/14	Drawn By	CMG	COVER SHEET 40 S. ASHLAND AVENUE, LA GRANGE COOK COUNTY, ILLINOIS	Sheet 1 of 8
Scale	1" = 20'	Checked By	EAC		
File No	48-00	Approved	ADC	Prepared For: SCHIESS ARCHITECT, LTD.	
Date		Prepared By	ALLEN D. CARRADUS	Project # 661	
			100 Bridge Street, Suite 101 (630) 558-0416 (FAX) 630-788-2017	L.A.D. SURVEYOR	

EXISTING TOPOGRAPHY SURVEY

SURVEY LEGEND
 (S) Survey Point
 (B) Bench Mark
 (T) Tied Point

SITE BENCHMARK: ELEV=640.89 (NAVD 83)
 NORTHWEST CORNER BOLT OF FIRE HYDRANT
 ON THE SOUTHEAST CORNER OF SITE.

ALL PROPOSED STORM STRUCTURES AND THE EXISTING STRUCTURES IN FRONT OF THE SITE SHALL HAVE A FILTER BASKET INSTALLED AND MAINTAINED UNTIL THE VEGETATION WITHIN THE SITE IS ESTABLISHED.

TOPOGRAPHIC SURVEY LEGEND

- 700- EXISTING CONTOUR
- EXISTING GRADE
- DRAINAGE FLOW ROUTE
- SNOW PUMP DISCHARGE
- DOWNSPOUT DISCHARGE
- UNDERGROUND STORM DRAIN
- T/F TOP OF FOUNDATION ELEVATION
- G/F GARAGE FLOOR ELEVATION

TREE DESCRIPTIONS			
TREE NO.	SPECIES	D.B.H.	CLASSIFICATION
1		12"	PROTECTED SAVE
2		12"	PROTECTED SAVE
3		12"	PROTECTED SAVE

SITE SCHEDULE	
TASK	MONTH OF CONSTRUCTION
SILT FENCE INSTALLATION	1 2 3 4 5 6 7 8 9 10 11 12
SITE CLEANING & MARK OFF	
DEMOLITION & SITE GRADING	
STORM SEWER & DETENTION	
RETAINING WALLS & CURBS	
STONE BASE & PAVING	
SANITARY & WATER SERVICE	
LANDSCAPE	
SILT FENCE MAINTENANCE	
CLEANING OF ROADWAY	

CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL

THE DRAWINGS, SPECIFICATIONS AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. STABILIZATION PRACTICES INCLUDE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

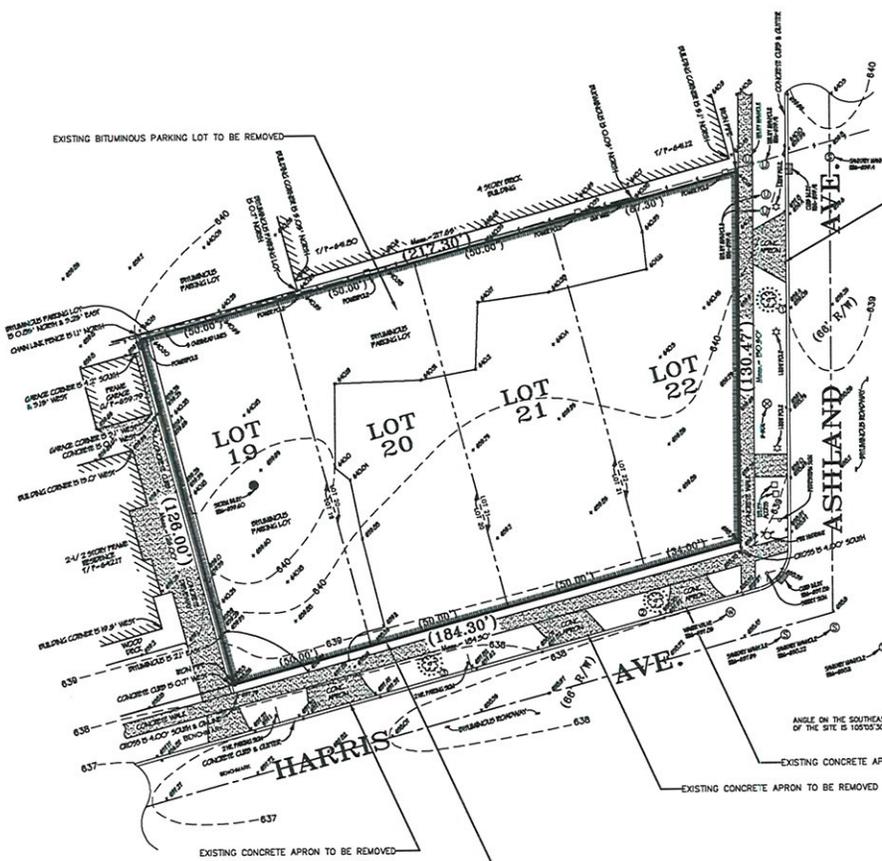
- AREAS OF EXISTING VEGETATION, WOOD AND GRASSLANDS, OUTSIDE THE PROPOSED CONSTRUCTION LIMITS SHALL BE IDENTIFIED BY THE ENGINEER FOR PRESERVING AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.
- DEAD, DISEASED, OR UNSUITABLE VEGETATION WITHIN THE SITE SHALL BE REMOVED AS DIRECTED BY THE ENGINEER, ALONG WITH REQUIRED TREE REMOVAL.
- AS SOON AS REASONABLE ACCESS IS AVAILABLE TO ALL LOCATIONS WHERE WATER DRAINS AWAY FROM THE PROJECT, TEMPORARY PERIMETER EROSION BARRIER SHALL BE INSTALLED AS CALLED OUT IN THIS PLAN OR DIRECTED BY THE ENGINEER.
- BARE AND SPARSELY VEGETATED GROUND IN HIGH ERODIBLE AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDDED AT THE BEGINNING OF CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN (7) DAYS.
- IMMEDIATELY AFTER TREE REMOVAL IS COMPLETED, AREAS WHICH ARE HIGHLY ERODIBLE AS DETERMINED BY THE ENGINEER, SHALL BE TEMPORARILY SEEDDED WHEN NO CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN (7) DAYS.

ESTABLISHMENT OF THESE TEMPORARY EROSION CONTROL MEASURES WILL HAVE ADDITIONAL BENEFITS TO THE PROJECT. DESIRABLE GRASS SEED WILL BECOME ESTABLISHED IN THESE AREAS AND WILL SPREAD SEEDS ONTO THE CONSTRUCTION SITE UNTIL PERMANENT SEEDING/MOWING AND OVER SEEDING CAN BE COMPLETED.

DESCRIPTION OF STABILIZATION PRACTICES DURING CONSTRUCTION

DURING CONSTRUCTION AREAS OUTSIDE THE CONSTRUCTION LIMITS SHALL BE PROTECTED. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING, PARKING OF VEHICLES OR CONSTRUCTION EQUIPMENT, STORAGE OF MATERIALS OR OTHER CONSTRUCTION RELATED ACTIVITIES.

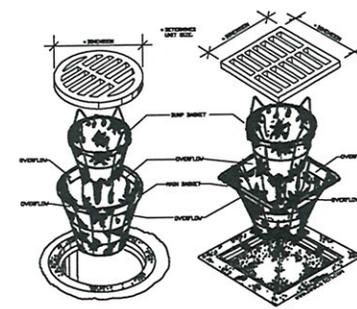
- WITHIN THE CONSTRUCTION LIMITS, AREAS WHICH MAY BE SUSCEPTIBLE TO EROSION AS DETERMINED BY THE ENGINEER SHALL REMAIN UNDISTURBED UNTIL FULL SCALE CONSTRUCTION IS UNDERWAY TO PREVENT UNNECESSARY SOIL EROSION.
- AS CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL INSTITUTE THE FOLLOWING AS DIRECTED BY THE ENGINEER:
 - PLACE TEMPORARY EROSION CONTROL FACILITIES (SILT FENCE, INLET PROTECTION, ETC.) AT LOCATIONS SHOWN ON THE PLANS.
 - TEMPORARILY SEED ERODIBLE BARE EARTH ON A WEEKLY BASIS TO MINIMIZE THE AMOUNT OF ERODIBLE SURFACE AREA WITHIN THE CONSTRUCTION LIMITS.
 - CONTINUE BUILDING UP THE EMBANKMENT TO THE PROPOSED GRADE WHILE, AT THE SAME TIME, PLACING PERMANENT EROSION CONTROL ALONG THE SLOPES.
- EXCAVATED AREAS AND EMBANKMENT SHALL BE PERMANENTLY SEEDDED IMMEDIATELY AFTER FINAL GRADING. IF NOT, THEY SHALL BE TEMPORARILY SEEDDED IF NO CONSTRUCTION ACTIVITY IN THE AREA IS PLANNED FOR SEVEN (7) DAYS.
- CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR OTHER POLLUTANT IN ACCORDANCE WITH EPA WATER QUALITY REGULATIONS. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIR OR REMOVED FROM THE SITE.
- THE OWNER OR HIS DESIGNATED REPRESENTATIVE SHALL INSPECT THE PROJECT WEEKLY DURING CONSTRUCTION ACTIVITIES. INSPECTION SHALL ALSO BE DONE AFTER RAINS OF 1/2 INCH OR GREATER OR EQUIVALENT SNOWFALL AND DURING THE WINTER SHUTDOWN PERIOD.
- SEDIMENT COLLECTED DURING CONSTRUCTION OF THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS AS DIRECTED BY THE ENGINEER. THE COST OF THIS MAINTENANCE SHALL BE INCLUDED IN THE UNIT BID PRICE FOR EARTH EXCAVATION FOR EROSION CONTROL.
- THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED, AS DIRECTED BY THE ENGINEER, AFTER USE IS NO LONGER NEEDED OR NO LONGER FUNCTIONING.



EXISTING CONCRETE APRON SHALL BE USED FOR VEHICULAR ACCESS TO THE SITE UNTIL GRAVEL BASE FOR NEW DRIVE IS INSTALLED. A MINIMUM 10' X 20' DRIVE CONSTRUCTED OF 1-1/2" STONE SHALL BE IMMEDIATELY ADJACENT TO THE BITUMINOUS APRON TO REMOVE MUD & DEBRIS FROM VEHICLES LEAVING THE SITE.

5-A.22

SedCatcher® Sediment Basket - Square, Rectangular, or Round Grates
 LEGEND
 13 SEDIMENT BASKET



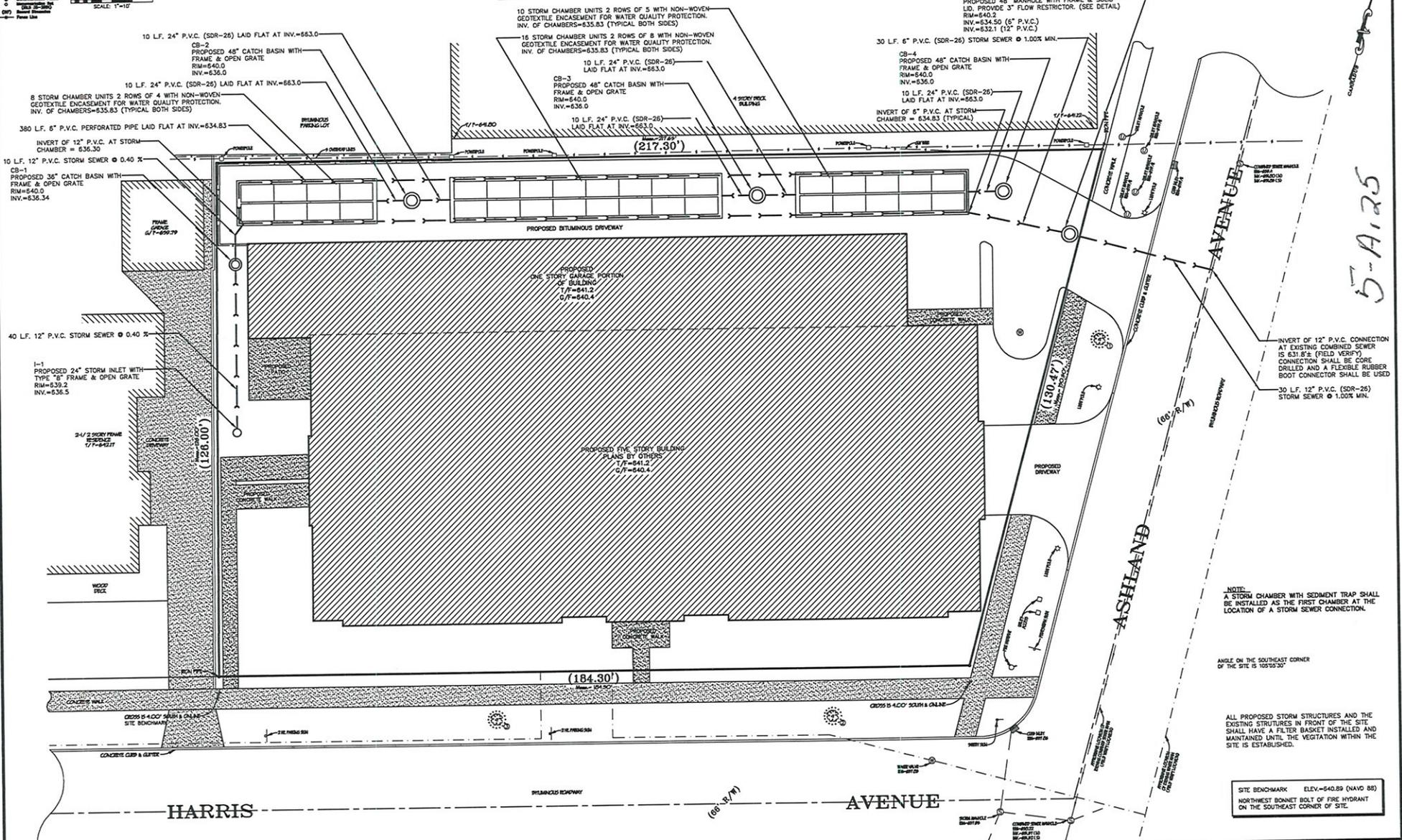
USE PATENTS & TRADEMARKS OF SEDCATCHER, INC. SedCatcher® Environmental Products
 1. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PORTS THEREOF CORRECTED TO 68°F.
 2. DISTANCES SHOWN ALONG CURVES ARE ARC MEASUREMENTS UNLESS OTHERWISE NOTED.
 3. COMPARE THE LEGAL DESCRIPTION, BUILDING LINES, AND EASEMENTS AS SHOWN HEREON WITH YOUR DEED. THIS INSTRUMENT POLYS & TITLE COMMITMENT.
 4. CONSULT LOCAL AUTHORITIES FOR ADDITIONAL SETBACKS AND RESTRICTIONS NOT SHOWN HEREON.
 5. COMPARE ALL SURVEY DATA AND REPORT ANY DISCREPANCIES IMMEDIATELY.
 6. CONTACT UTILITY COMPANIES AND MUNICIPALITIES PRIOR TO THE START OF ANY CONSTRUCTION.
 7. DIMENSIONS TO AND FROM BUILDINGS ARE EXTERIOR FOUNDATION MEASUREMENTS.
 8. DO NOT ASSUME DISTANCES FROM SPOKE MEASUREMENTS MADE HEREON.

NOTES

- All distances shown hereon are in feet and decimal parts thereof corrected to 68°F. Distances shown along curves are arc measurements unless otherwise noted.
- Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed. This instrument Polys & Title Commitment.
- Consult local authorities for additional setbacks and restrictions not shown hereon.
- Compare all survey points and report any discrepancies immediately.
- Contact utility companies and municipalities prior to the start of any construction.
- Dimensions to and from buildings are exterior foundation measurements.
- Do not assume distances from spoke measurements made hereon.

Drawn By: 11/13/14	Checked By: CMC	Project No.: 40 S. ASHLAND AVENUE, LANSING, MI 48206	Sheet: 2 of 8
Date: 4-8-2014	Scale: 1" = 20'	Client: SCHIERS ARCHITECT, LTD.	Project #: 861
Drawn By: ALLEN D. CARADUS	Checked By: ADC	Project: 40 S. ASHLAND AVENUE, LANSING, MI 48206	Sheet: 2 of 8

STORMWATER DETENTION PLAN



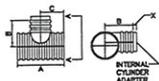
5-A125

SITE BENCHMARK ELEV.=640.89 (NAVD 88)
 NORTHWEST BONNET BOLT OF FIRE HYDRANT ON THE SOUTHEAST CORNER OF SITE.

DATE: 11/13/14		DESIGNED BY: CHG	STORMWATER DETENTION PLAN		Sheet 5
SCALE: 1"=10'	DRAWN BY: EAC	CHECKED BY: ADC			
PROJECT NO: 48-00	DATE: 11/13/14	APPROVED BY: ADC	40 S. ASHLAND AVENUE, LAGRANGE COOK COUNTY, ILLINOIS		of 8
Prepared For: SCHIESS ARCHITECT, LTD.			Prepared By: ALLEN D. CARRADUS		
100 BRIDGE STREET, SUITE 201A7 (833) 586-5416 (781) 252-7882			LARRY SCHIESS		Page # 851

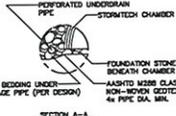
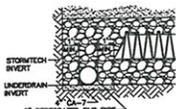
DRAWING FILE: 861-545

STORMTECH SINGLE MANIFOLD DETAIL

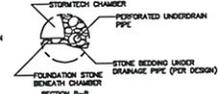


SECTION VIEW A-A

SUBGRADE DRAIN DETAIL



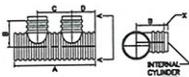
SECTION A-A



SECTION B-B

PART #	PIPE SIZE	CHAMBER SIZE	A	B	C
2455AN708	24" x 6" (600 x 150 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
2455AN712	24" x 12" (600 x 300 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
3055AN708	30" x 6" (750 x 150 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
3055AN712	30" x 12" (750 x 300 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
3655AN708	36" x 6" (900 x 150 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
3655AN712	36" x 12" (900 x 300 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
4255AN708	42" x 6" (1060 x 150 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
4255AN712	42" x 12" (1060 x 300 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
4855AN708	48" x 6" (1200 x 150 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)
4855AN712	48" x 12" (1200 x 300 mm)	SC-310	40.00 in (1016 mm)	27.90 in (708 mm)	20.00 in (508 mm)

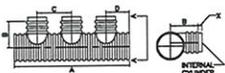
STORMTECH DOUBLE MANIFOLD DETAIL



SECTION VIEW A-A

PART #	PIPE SIZE	CHAMBER SIZE	A	B	C	D
2455AN708	24" x 6" (600 x 150 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
2455AN712	24" x 12" (600 x 300 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3055AN708	30" x 6" (750 x 150 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3055AN712	30" x 12" (750 x 300 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3655AN708	36" x 6" (900 x 150 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3655AN712	36" x 12" (900 x 300 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4255AN708	42" x 6" (1060 x 150 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4255AN712	42" x 12" (1060 x 300 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4855AN708	48" x 6" (1200 x 150 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4855AN712	48" x 12" (1200 x 300 mm)	SC-310	80.00 in (2032 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)

STORMTECH TRIPLE MANIFOLD DETAIL

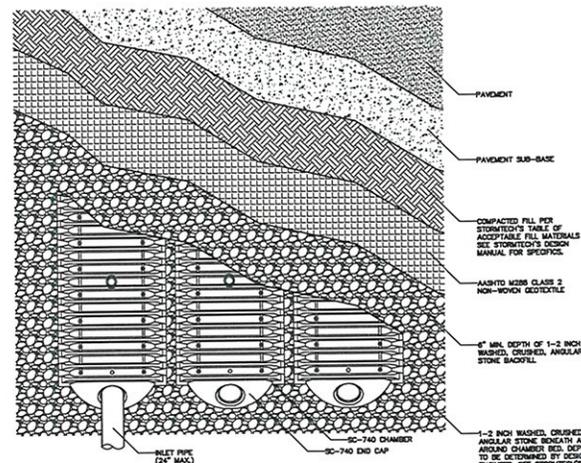


SECTION VIEW A-A

PART #	PIPE SIZE	CHAMBER SIZE	A	B	C	D
2455AN708	24" x 6" (600 x 150 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
2455AN712	24" x 12" (600 x 300 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3055AN708	30" x 6" (750 x 150 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3055AN712	30" x 12" (750 x 300 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3655AN708	36" x 6" (900 x 150 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
3655AN712	36" x 12" (900 x 300 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4255AN708	42" x 6" (1060 x 150 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4255AN712	42" x 12" (1060 x 300 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4855AN708	48" x 6" (1200 x 150 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)
4855AN712	48" x 12" (1200 x 300 mm)	SC-310	120.00 in (3048 mm)	27.90 in (708 mm)	40.00 in (1016 mm)	20.00 in (508 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.
 MANIFOLDS WITH 6" STUBS USE SOLID WALL PIPE ONLY, NO 1/2" PIPE IS USED.

STORMTECH SC-740 CHAMBER SYSTEM PLAN VIEW DETAIL



DETAILS ARE NOT DRAWN TO SCALE.

Drawn By: 11/13/14	Checked By: CAG	Scale: 1" = 20'	Project: 48-00	Sheet: 5-A.20
Date: 4-8-07	Author: ADC	Drawn By: EAC	Checked By: ADC	Project: 8
<p>CONSTRUCTION NOTES & DETAILS</p> <p>40 S. ASHLAND AVENUE, LA GRANGE COOK COUNTY, ILLINOIS</p>			<p>SCHIESS ARCHITECT, LTD.</p>	
<p>Prepared By: ALLEN D. CARADUS</p> <p>100 Bridge Street, Suite 100, Naperville, Illinois 60563</p> <p>(630) 258-6416 (FAX) 633-7682</p>			<p>Project # 861</p>	

5-A.20

GENERAL CONSTRUCTION NOTES

- 1) WATER FOR CONSTRUCTION SHALL BE BROUGHT IN FROM OFFSITE.
- 2) CONSTRUCTION VEHICLES SHALL BE PARKED ON THE NORTH SIDE OF HARRIS AVENUE ONLY.
- 3) ALL TREES ON THE SITE, EXCEPT THOSE DESIGNATED TO BE REMOVED, SHALL BE PROTECTED.
- 4) THE CONTRACTOR SHALL BE REQUIRED TO KEEP THE STREETS CLEAN THROUGHOUT CONSTRUCTION.
- 5) ALL ACCESS TO AND FROM THE SITE BY CONSTRUCTION VEHICLES SHALL BE VIA THE CONCRETE APRON.
- 6) THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION LATEST EDITION, SHALL GOVERN CONSTRUCTION FOR THE MAIN CONSTRUCTION AREAS UNLESS SPECIFIC PROVISIONS IN THE VILLAGE OF LAGRANGE SUBDIVISION AND ENGINEERING SPECIFICATIONS MANUAL.
- 7) THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF LAGRANGE AT LEAST 72 HOURS DAYS BEFORE THE INITIAL STATE OF OPERATIONS, OPENING ANY STREET PAVEMENT OR ANY TEMPORARY STOP OF RESUMPTION OF OPERATIONS.
- 8) ALL NEW UNDERGROUND SERVICES SHALL BE PLACED AT LEAST FIVE (5) FEET FROM SANITARY AND WATER SERVICES.
- 9) WHEREVER THE WORDS "USUALLY" OR "USUALLY" APPEAR, IT SHALL BE INTERPRETED TO MEAN A REPRESENTATIVE OF THE VILLAGE OF LAGRANGE.
- 10) A COPY OF THE CITY APPROVED STAMPED PLANS AND SPECIFICATIONS AND OTHER AGENCIES PERMITS (I.E. COUNTY HIGHWAY ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, ETC.) MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION.
- 11) CHANGES IN THE ENGINEERING PLANS MUST BE APPROVED BY THE VILLAGE ENGINEER. A WRITTEN REQUEST ACCOMPANIED BY REVISED ENGINEERING PLANS IS TO BE SUBMITTED AND APPROVED BEFORE CHANGES ARE MADE.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES (AUGUSTINE, COMMONWEALTH EDSON ELECTRIC COMPANY, ETC.) PRIOR TO CONSTRUCTION AND ALL UTILITIES DAMAGED AND/OR DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. LOCATIONS AS SHOWN ARE APPROXIMATE AND BASED UPON THE BEST AVAILABLE INFORMATION. CALL UTILITIES FOR MAJOR UTILITY LOCATIONS.
- 13) THE CONTRACTOR IS TO VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE DESIGN ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCIES ARE RESOLVED.
- 14) EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE REMOVED TO A MINIMUM DISTANCE OF 15 FEET ON EACH SIDE OF ANY EXISTING UTILITIES TO REMAIN IN SERVICE AND/OR ANY PROPOSED UTILITIES.

UTILITY SERVICE NOTES

- 1) WATER SERVICE SHALL BE 2" COVER (TYPE "X").
- 2) SANITARY SEWER SERVICES SHALL BE 8" P.V.C. PIPE (SDR-35) AT A MINIMUM 1% SLOPE.
- 3) RESTORE PAVED AREAS DISTURBED DURING THE INSTALLATION OF SEWER & WATER SERVICE.
- 4) ALL TRENCHES SHALL BE BACKFILLED WITH A SELECT GRANULAR MATERIAL UNDER ROADWAYS, DRIVEWAYS AND SIDEWALKS.

GRADING NOTES

- 1) MATCH EXISTING GRADICES AT THE PROPERTY LINES.
- 2) DIRECT DOWNSLOPES AND SWAMP DISCHARGE TOWARDS THE REAR AND FRONT YARD SHALES.
- 3) THE EXISTING DRAINAGE CHARACTERISTICS OF THE SITE SHALL REMAIN SUBSTANTIALLY UNCHANGED.
- 4) RECTANGULAR ALL GRAZED AREAS WITH SEED OR 500 PER OWNER.
- 5) ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION.
- 6) ONLY THAT MATERIAL NEEDED FOR FOUNDATION BACKFILL AND FINAL GRADING SHALL BE STORED ON-SITE.
- 7) ALL GRADING OPERATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ELEVATIONS AND GRADICES, AS SHOWN ON THE PLANS OR MODIFIED BY THE VILLAGE ENGINEER.

EROSION CONTROL NOTES

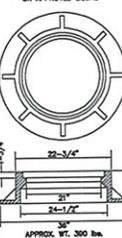
- 1) Sediment and erosion control devices shall be installed and functional before the site is otherwise disturbed.
- 2) If a stakepile is to remain in place for more than seven days, it shall be surrounded by wire fence. If a stakepile is to remain in place for more than fourteen days, it shall be protected with temporary seeding.
- 3) All fence end sections shall be protected by sediment settling basins and/or silt fences until ground cover has been established. Filter fabric shall be placed under all pile gates until ground cover has been established.
- 4) Water pumped, or otherwise discharged, from the site on part of construction dewatering shall be filtered.
- 5) All soil, mud and debris washed, treated or deposited onto the street pavement shall be removed at the end of each work day.
- 6) Vehicular access to the site shall be restricted to a gravel drive after the foundation has been installed. The gravel drive shall be installed within seven days of the foundation building and prior to the start of any construction above the top of foundation.
- 7) Ground cover (seed and mulch or sod) shall be placed on all disturbed areas within fourteen days of the completion of top soil placement and final grading. If seed and mulch or sod is to be placed, the placement of seed and mulch or sod, all disturbed areas shall be protected with erosion blanket.



NOTES: INSTALL PROTECTIVE FENCING TO A MINIMUM HEIGHT OF 4'-0". FENCING SHALL BE POSITIONED SUCH THAT DRAIN LINE OF TREE IS PROTECTED.

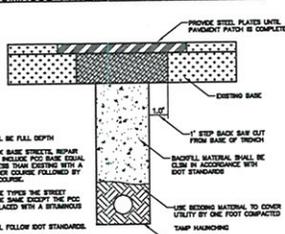
TYPE 1 FRAME

MEANUM R-10125, EAST JORDAN 1000 OR APPROVED EQUAL



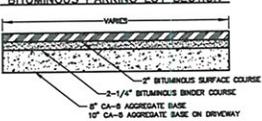
APPROX. WT. 300 lbs.

BITUMINOUS PAVEMENT RESTORATION DETAIL



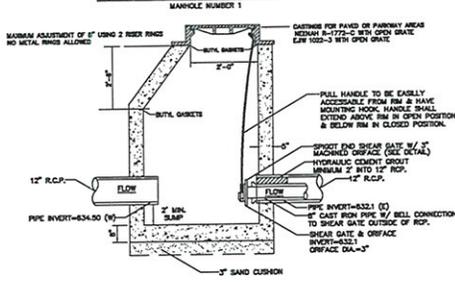
- 1) ALL SAW CUTS SHALL BE FULL DEPTH.
- 2) FOR CONCRETE/BRICK BASES: REMOVE EXISTING CURB OR PAVEMENT SHALL BE FULL DEPTH EQUAL TO 2" MIN. 2-1/2" BRICK COURSE FOLLOWED BY 1-1/2" SURFACE COURSE.
- 3) FOR ALL OTHER BASE TYPES: THE STREET REPAIR SHALL BE THE SAME DEPTH THE PCC BASE SHALL BE REPAIRED WITH A STAIRSTEP BASE COURSE.
- 4) TRENCH WIDTH SHALL FOLLOW DOT STANDARDS.

BITUMINOUS PARKING LOT SECTION



2" BITUMINOUS SURFACE COURSE
3-1/2" BITUMINOUS BINDER COURSE
10" CA-8 AGGREGATE BASE
10" CA-8 AGGREGATE BASE ON DRIVEWAY

CATCH BASIN WITH SHEAR GATE



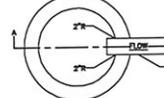
34 CHAMBERS WITH 8" OF STONE ABOVE AND 12" OF STONE BELOW THE CHAMBERS PROVIDE 4,817 CUFT. OF STORAGE OR APPROXIMATELY 10% OVERAGE FROM THE MINIMUM REQUIRED AT A 0.53 CFS. RELEASE RATE FOR FOR THE SITE (3" ORFACE)

ORFACE SIZE

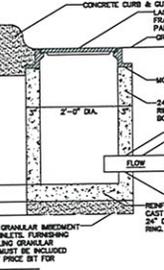
34 CHAMBERS WITH 8" OF STONE ABOVE AND 12" OF STONE BELOW THE CHAMBERS PROVIDE 4,817 CUFT. OF STORAGE OR APPROXIMATELY 10% OVERAGE FROM THE MINIMUM REQUIRED AT A 0.53 CFS. RELEASE RATE FOR FOR THE SITE (3" ORFACE)

STANDARD INLET

THIS INLET IS SOMETIMES REFERRED TO AS "LAGRANGE STANDARD INLET, TYPE A"

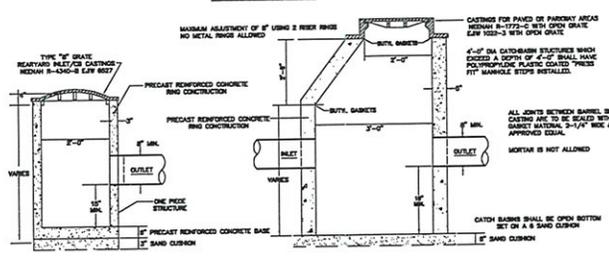


8" DIA. DUCTILE IRON PIPE, PART OF ITEM

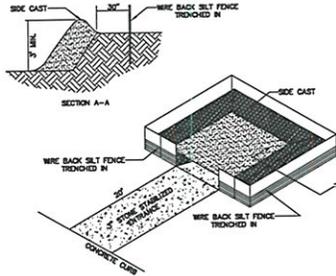


8" MINIMUM GRANULAR BENEATHMENT UNDER ALL INLETS. FURNISHING AND INSTALLING GRANULAR BENEATHMENT MUST BE INCLUDED IN THE UNIT PRICE BID FOR ITEM.

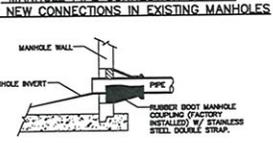
CATCH BASINS



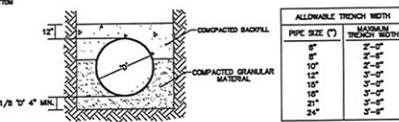
CONCRETE WASHOUT BASIN



MANHOLE PIPE CONNECTION DETAIL FOR NEW CONNECTIONS IN EXISTING MANHOLES



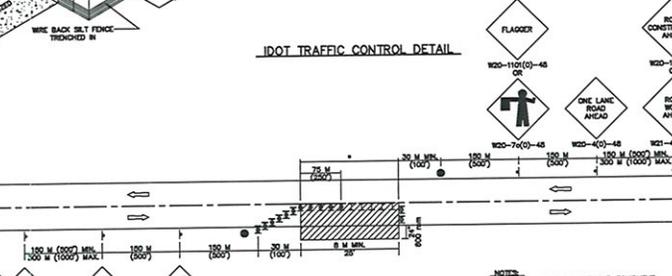
PIPE BEDDING



ALLOWABLE TRENCH WIDTH	MAXIMUM TRENCH WIDTH
8"	2'-0"
10"	2'-0"
12"	2'-0"
14"	2'-0"
16"	2'-0"
18"	2'-0"
20"	2'-0"
24"	2'-0"

PIPE BEDDING & INITIAL BACKFILL MATERIALS SHALL BE LIMITED TO CRUSHED GRAVEL OR CRUSHED STONE 1/4" TO 3/4" DIAMETER, PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY FOR AGRICULTURE T-99. IN PAVEMENT AREAS AND WHERE TRENCH FALLS WITHIN A 1:1 SLOPE EXTENDED FROM THE EDGE OF PAVEMENT, MATERIAL SHALL BE TRENCH-BAGGOTT (1/4" PER 1.0 D.T. SPICES) COMPACTED TO 95% STANDARD PROCTOR DENSITY PER AASHTO T-99. IN LANDSCAPE AREAS MATERIAL SHALL BE SELECT EXCAVATED MATERIAL FREE OF ROOTS AND DEBRIS, COMPACTED TO 95% STANDARD PROCTOR DENSITY PER AASHTO T-99.

IDOT TRAFFIC CONTROL DETAIL



NOTE: HERE AT ANY TIME, ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES WILL INFRINGE IN THE AREA BETWEEN THE CENTER LINE AND A LINE 600 MM (24") FROM THE EDGE OF PAVEMENT. BARRICADES AT 15 M (50') CENTERS FOR THE FIRST 75 M (250') AND AT NO GREATER THAN 30 M (100') CENTERS THROUGH THE REMAINDER OF THE WORK AREA.

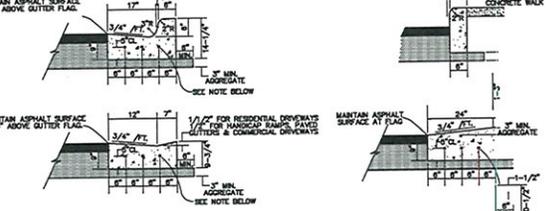
NOTE: REFER TO IDOT STANDARDS FOR TRAFFIC CONTROL PROCEDURES FOR THE INSTALLATION OF STORM SEWER AND WATER MAIN AND CONSTRUCTION OF DRIVEWAY WITHIN ASHLAND AVENUE RIGHT OF WAY.

ALL PROPOSED STORM STRUCTURES AND THE EXISTING STRUCTURES IN FRONT OF THE SITE SHALL HAVE A FILTER BASKET INSTALLED AND MAINTAINED UNTIL THE VEGETATION WITHIN THE SITE IS ESTABLISHED.

Scale: 11/31/14	Drawn by: CMC	Checked by: EAC	Approved by: ADC
Project No: 48-00	Revision: ADC	Project No: 48-00	Revision: ADC
Sheet: 8	Project: 8	Project: 8	Project: 8

DETAILS ARE NOT DRAWN TO SCALE.

CURB & GUTTER DETAILS



NOTE: 1) EXPANSION JOINTS TO BE LOCATED AT HIGH POINTS, INLETS, CATCHBASINS, CURB RETURNS, COLD JOINTS OR 10' MAX. (SEE DETAIL). 2) CONTRACTION JOINTS ARE TO BE SAW CUT 2" DEEP AT 10' INTERVALS MAX. 3) INSTALL 2-#4 DEFORMED BARS X 10'-0" LONG OVER ALL TRENCHES.

5-A-28

EXHIBIT C

Building Renderings

[see attached pages]

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FRONT ELEVATION

40 S. Ashland Avenue, LaGrange, IL 60525

Revised for PD	09/15/14
Revised for PD	08/06/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
Date	

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 elevation

SK2.1

Sheet No.

5-A.30



EAST ELEVATION

40 S. Ashland Avenue, LaGrange, IL 60525

5-A.31

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Revised for PD	08/06/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 elevation

SK2.2

Sheet No.

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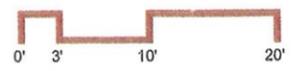
Revised for PD	09/15/14
Revised for PD	08/06/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
at
ASHLAND AVENUE
40 S. Ashland Avenue
La Grange, Illinois

Sheet Title
elevation

SK2.3

Sheet No.



WEST ELEVATION

40 S. Ashland Avenue, LaGrange, IL 60525

5-A-32

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NOTE: EXACT WINDOW LOCATION AT RESIDENCES MAY VARY

NORTH ELEVATION

40 S. Ashland Avenue, LaGrange, IL 60525

Revised for PD	09/15/14
Revised for PD	08/06/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 elevation
SK2.4
 Sheet No.

5-A.33



john conrad schiess architect

905 Home Avenue Oak Park Illinois 60304
 tel. 708.383.5822 fax 708.383.5884 john@jcsarchitect.com

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Revised for PD	09/15/14
Revised for Site Plan Approval	07/01/14
Issue for Site Plan Approval	05/28/14
Issue for Preliminary Review	05/08/14
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 rendering

SK1.7A

Sheet No.

5-A, 34



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Revised for PD	09/15/14
Revised for Site Plan	07/01/14
Approval	
Issue for Site Plan	05/28/14
Approval	
Issue for Preliminary	05/08/14
Review	
	Date

The RESIDENCES
 at
 ASHLAND AVENUE
 40 S. Ashland Avenue
 La Grange, Illinois

Sheet Title
 rendering

SK1.7B

Sheet No.

5-A.35

FINDINGS OF FACT

PLAN COMMISSION

OF THE VILLAGE OF LA GRANGE

President Livingston and
Board of Trustees

October 14, 2014

RE: PLAN COMMISSION CASE #220 – (1) map amendment to the Zoning Code rezoning from C-1 (Central Commercial) to R-8 (Multiple Family Residential); (2) Small Planned Development Concept/Final Plan; and (3) Site Plans to authorize a multiple family development at 40 S. Ashland Avenue, 40 Ashland LLC and Mike Streit.

We transmit for your consideration a recommendation adopted by the Plan Commission of the Village of La Grange on the proposed Map Amendment to the La Grange Zoning map from C-1 to R-8, small Planned Development, and Site Plan Approval at 40 South Ashland Avenue.

I. THE APPLICATION

The applicant seeks approval of (1) Zoning Map Amendment to rezone from its current C-1 commercial district to R-8 multiple family district, (2) Site and design plans to authorize the construction of a 5-story multiple family development, 23 units at 40 South Ashland Avenue.

II. THE PUBLIC HEARING

After due notice given in accordance with law, the Plan Commission held a public hearing on October 14, 2014, in the La Grange Village Hall Auditorium. Present were Commissioners Egan, Paice, Reich, Weyrauch and Williams, with Chairman Kardatzke presiding. Also present were Village Trustee Liaison David McCarty, Village Clerk John Burns, Village Attorney Mark Burkland, Community Development Director Patrick D. Benjamin, and Assistant Community Development Director Angela M. Mesaros.

Chairman Kardatzke swore in Mike Streit, Brand & Co. Partner and John Schiess, Architect and Brand & Co. Partner and Adam Friedberg, Brand & Co Partner, who presented the application and answered questions from the Commissioners:

- The applicant introduced a new application and highlighted four key differences from their last application: (1) Increased green space buffer to the west from 17 to 22 feet from the main building. (2) Reduced footprint and moved top floor of building in 12 feet from the east & west and 15 feet from the south. (3) Reduction from 24 units to 23 units, which means total compliance on parking. (4) Created a designated vehicle/person drop off and pick up area with a door leading directly to the building along Ashland with two additional guest parking spaces.

- The applicant re-stated some of the testimony from the previous application for the Village Board. The application process began February 20, 2014, since that time they have met with Village Staff, held pre-application meetings, and two public hearings before the Plan Commission. At all points amendments have been made to their application, including reducing the height, improving pedestrian level aesthetics, on site water detention, parking, reducing the mass, providing setback relief on the western side, provided additional guest parking and drop off and removed the public plaza.
- Mr. Schiess then presented the site contextually in three dimensions.
- Mr. Schiess emphasized a 22 foot green space buffer to the west, garage separation will be 7 ½ feet from the west with a secondary entrance and a main entrance.
- Mr. Schiess presented layouts of each of the floors: the second floor has changed slightly. They still have rooftop decks over the garages, which have a “sea of green” around them. The top floor has dramatic changes - reduced the units from four to three, provided a buffer with the vegetated roof and outdoor living.
- Looking at the elevations, the cornice line is accentuated. There is a visual line of 44 feet, which is approximately the height of the R-8 designation, which they believe makes this visually compatible with the multiple family district. They have added accent breaks and horizontal banding.
- Mr. Schiess then presented a massing study of an artist’s rendering from the sidewalk and other views and introduced what they believe to be the benefits of the development, including storm water management, monetary contribution for sewer lining, goals of the comprehensive plan, visual conformity to the R-8 Multiple Family District, the proposed residential use has less of an impact than as-of-right development in the C-1 as currently zoned, attracting/retaining high net-worth residents - anyone who has expressed interest has been a La Grange resident or former resident. They believe it is an economic generator and was well received by the La Grange Business Association. There will be a \$253,000 net property tax increase and a property tax increase of \$170,000 to the schools. They meet parking code and have no exposed parking. They have dealt with traffic issues, such as elimination of vehicular access off of Harris and the addition of a service vehicle parking and access area. They also believe that the design meets the standards for excellence of design in the R-8 District.

Chairman Kardatzke solicited questions from the Commissioners:

- Commissioner Paice stated that he would like to thank the applicants for the number of adjustments they have made. He stated that he believes the elevation looks stark and wondered if a vegetated roof would soften it. Mr. Schiess stated that there are no trees and bushes on the rooftop deck, only supports particular plants.

- Commissioner Egan stated she was previously concerned about the number of modifications requested and appreciates that the applicant has reduced two modifications from Code. She asked what type of buyer would want the first floor unit as it has few windows. Answer: This unit has actually been popular and is one of the units reserved for potential buyers.
- Commissioner Egan asked who would maintain the green space. Answer: A homeowner's association with covenants and restrictions (CCRs) that allow residents some level of customization.

Chairman Kardatzke swore in and solicited questions from the Audience:

- Philip Bernard, 2 S. Catherine Avenue, stated that he believes that there have been no substantial change. This proposal is still too big for the lot. He does not believe that concessions amount to much and this project will actually make things worse for the neighborhood. He further stated that he believes that this is the same design with no changes.
- Chris Fedoruk, 217 W. Harris, stated that they developer should follow the rules and that if this project is approved, the Village Board would lose integrity by conceding and giving in to this request. She believes that the Village would not be able to say no to the next developer if they are willing to pay for items. She believes this would be adding to the problem and people do not have time to attend meetings any longer. The Plan Commission voted against this project once. The project is still over the limits and she does not believe that enough has changed in this proposal.
- Joe Fedoruk, 217 W. Harris, immediately adjacent to the subject property, stated that he does not believe that this meets the amendment criteria. No part of the building meets a single requirement of the Code, according to Mr. Fedoruk. There is no community need for this project and he believes that this does not protect the safety of our town and value of our properties. He stated that under no undue adverse impact, the 2005 traffic study is not accurate. He believes that the development will interfere with sewer and electric and access to WI-FI for District 102. He does not believe that this complies with the compensating amenities as the ADA sidewalks would already be in place. He believes Harris needs a complete new sewer not just a new lining. This proposal has less open space than the previous plan.
- Joan Smothers, 919 W. Hillgrove, Smothers Realty, stated she is approaching this as a business owner, taxpayer, realtor and a buyer. She believes that this development does help the business community. Typical buyers have a lot of disposable income. As a taxpayer (who has paid taxes for thirty years in town), she believes this will increase taxes and appreciates that the money will go into the sewer system. A commercial use would be worse for property values and this proposed residential building would create a buffer of a quality building between commercial and residential. As a realtor, she believes this will keep people in town and there is a need

for this type of project. In addition, Ms. Smothers plans to be a buyer. She currently lives in Burr Ridge in a 59-unit building and she would like to be back in La Grange. She meets the demographic and wants to stay in town. She further added that in her building in Burr Ridge, of 160 cars, she has not encountered another car in the garage while leaving or coming.

- Pat Kozlowski, 218-220 West Harris, stated that she believes this project would put a mega mansion next to single family houses. The quality may be great, but the size of the structure would impact the community.

Chairman Kardatzke solicited comments from the Commissioners and stated that the Village Board of Trustees would like the Commissioners to articulate why they vote as they do for this project:

- Commissioner Weyrauch stated that she believes this proposal has improved. She is still not completely comfortable with five stories but feels that this has been designed to adequately disguise as a four story building.
- Commissioner Weyrauch stated that the small planned development process allows modifications from the zoning standards. This is a transition site and a step down from the taller building on Ashland (the AT&T building directly to the north as well as the building across the street). This is not a single family area; it is a mixed district. She understands that it is difficult to be the first house on the edge of a transitional district, however, the neighboring property is zoned R-8 Multiple Family.
- Commissioner Williams stated that this is a big improvement. He appreciates the setback increase on the west side, however, he believes the building has been shifted to the detriment of the east property line. He believes that the height of the fifth story has been hidden quite a bit, however, he would like to see a few things done differently including the east setbacks further from the sidewalk. In addition, he would like to see a reduction in units on each floor to shrink the width of the building. The fifth floor is ok as it is.
- Commissioner Williams questioned whether the property could be zoned residential now to safeguard for future development, but left vacant until we get a proposal for a smaller building. Mr. Benjamin stated that the property owner has stated that they are not comfortable with re-zoning and setting aside. Village Attorney Mark Burkland stated that the Village has the authority to request that any property be re-classified, however, to our knowledge this has not happened without support of the owner and the Plan Commission cannot really hold an application.
- Chairman Kardatzke stated that he believes significant improvements have been made and that this would meet the criteria of a small planned development. He applauds the changes such as minimized fifth floor height and increased setback from the west property line.

- Commissioner Reich stated that he had asked them to present this as an R-8 development straight with no modifications. The reality is that the owner of the property is asking for a certain amount of money and the developer could not financially build a three-story building on site due to these restrictions. Commissioner Reich does not believe that this is too big for the site, but maybe too big for the people living next door. He understands the objections to five stories, however, he believes that this project does meet the criteria for a planned development.
- Commissioner Egan stated that her main reason for voting no to the last proposal was that there were too many modifications requested. She acknowledges it may not be ideal to live next to a multiple family building if you are in a single family home, however, the applicant has recessed the fifth floor and increased the setback to the west which would decrease any impact. Commissioner Egan further stated that she likes the green roof and the environmental considerations.
- Commissioner Paice stated that he supported the plan the last time and believes that this makes sense in the context of the area, which was made evident in the presentation by the applicant of the aerial site plan.

There being no further questions or comments from the Audience or Commissioners, a motion was made by Commissioner Weyrauch, seconded by Commissioner Reich to recommend to the Village Board of Trustees approval to change the zoning of the parcel commonly known as 40 S. Ashland from C-1 Central Commercial to R-8 Multiple Family Residential and of the application for small planned development/special use and site plans subject to the conditions listed in the Staff Report with PC Case #220.

Motion to APPROVE Carried by a roll call vote (5/1/1):

AYE: Weyrauch, Reich, Egan, Paice and Chairman Kardatzke.

NAY: Williams.

ABSENT: Stewart.

BE IT THEREFORE RESOLVED that the Plan Commission recommend to the Village Board of Trustees approval of an amendment to the La Grange Zoning Map, small planned development concept and final plan, special use, site plans to authorize a multiple family development at 40 South Ashland Avenue as described in PC Case #220.

Respectfully Submitted,

PLAN COMMISSION

OF THE VILLAGE OF LA GRANGE



Wayne Kardatzke, Chairman

STAFF REPORT

PC Case #220

TO: Plan Commission

FROM: Patrick D. Benjamin, Community Development Director
Angela M. Mesaros, Assistant Director of Community Development

DATE: October 14, 2014

RE: **(1) ZONING MAP AMENDMENT FROM C-1 TO R-8 (2) SPECIAL USE PERMIT, PLANNED DEVELOPMENT CONCEPT AND FINAL SITE PLANS FOR DEVELOPMENT OF MULTIPLE FAMILY RESIDENTIAL BUILDING, 40 Ashland Avenue, 40 Ashland, LLC & Mike Streit.**

I. BACKGROUND:

As you will recall from your last meeting in August 2014, Michael Streit and 40 Ashland, LLC is the contract purchaser of the property at 40 S. Ashland Avenue. This property is the former site of a Hallowell & James Funeral Home, which was demolished in 2006. The subject property is currently vacant land.

At the meeting on August 12, the applicants presented the following proposal:

- A five story multiple family building including 24 dwelling units.
- Various related improvements including monetary contribution to contribute to construction of a section of water main on Harris to ensure sufficient quantity and water flow to the site and lining or replacement of existing combined sewer on Ashland from Harris to the alley north of Harris, reconstruction of existing sidewalks to provide ADA-compliant routes, burial of utilities,

As you may recall, at that meeting, the application for zoning map amendment was recommended for approval; however, the recommendation for planned development and site plan approval failed.

Since the August 12th meeting, the applicants have withdrawn the original application and submitted a new application with revised plans. The notable revisions include:

- Reducing the total number of dwelling units in the apartment building to 23 from 24.
- Increasing the following yards: corner side yard, slightly, to 11.83 from 11.5 ft., most notably the setback of the apartment building at the west property line has been increased to 22.0 feet from 15 feet.

5-A.42

- Increasing the number of off-street parking spaces to 37 from 35 and with the reduction of dwelling units, thus increasing the ratio to 1.60 from 1.46 parking spaces per dwelling unit.
- Recessed and decreased the area of the top (5th) floor and lightened color/materials in order to decrease the appearance of bulk.

As provided in our Zoning Code, 40 Ashland, LLC participated in a pre-application meeting held in September 2014, which included: Village Trustees Bill Holder and David McCarty, Plan Commission Chairperson Kardatzke and Vice Chair Laura Weyrauch, Community Development Director and Village Planner. Participants at the meeting generally found the revised plan acceptable with the following comments: The Village agrees with the concept of high end condominiums. The issue is the fit for the site as “bulk” is an issue in La Grange. Another concern addressed was that the site plan had no guest parking and no drop-off space. The applicants have revised the plans to include those two elements. However, this was accomplished with the loss of the previously proposed public plaza.

II. APPLICATIONS:

After staff evaluation of the plans, we have determined that it would be necessary for the development to be constructed as a Small Planned Development, because the total land area is less than 40,000 square feet, and the development requires relief from several provisions of the Code as outlined in Section 2 of this report.

In order to construct the proposed development, 40 Ashland, LLC has submitted the following applications:

1. Zoning Map Amendment
2. Small Planned Development
3. Final Site Plan Approval

1. MAP AMENDMENT

40 Ashland, LLC has filed an application with the Community Development Department for a Zoning Map Amendment to rezone the property located at 40 S. Ashland Avenue from its current classification of C-1 Central Commercial to the R-8 Multiple Family Residential District.

AMENDMENT CRITERIA:

In reviewing the request for Zoning Map Amendment, be guided by the principles stated in Section 14-605 of the Zoning Code: “...*the power to amend this Code is not an*

arbitrary one but one that may be exercised only when the public good demands or requires the amendment be made. In determining whether the principle is satisfied in any particular case...weigh the data required in 14-101E and among other factors, the following standards:"

1. *The consistency of the proposed amendment with the purposes of this Code.*

One of the key purposes of the Zoning Code according to Section 1-102, is to “*implement and foster the goals and policies of the Village's Official Comprehensive Plan.*”

In addition to general principles and policies, the *Comprehensive Plan* established a Land Use Plan for future development within the Village. The land use plan identifies this property as medium density residential. This designation for the property is consistent with the request to reclassify the property as multiple family housing.

2. *The community need for the proposed amendment and for the uses and development it would allow.*

According to the applicants, the map amendment is necessary to transform an underutilized vacant property into a viable multiple family development. They have conducted research with local realtors on trends in the local marketplace to assure that the proposed unit mix and sizes are needed in the community. At present they have prospective buyers who have given insight into the layout of the units and the amenities. With this application, they have combined units to reduce the appearance of bulk by decreasing the area of the top floor.

3. *If a specific parcel is the subject, then the following factors should be considered:*

- a. *The existing uses and zoning classifications for properties in the vicinity of the subject property.*
- b. *The trend of development in the vicinity of the subject property, including changes, if any, in such trend since the subject property was placed in its present zoning classification.*
- c. *The extent, if any, to which any diminution in value is offset by an increase in public health safety and welfare.*
- d. *The extent to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.*

- e. *The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.*
- f. *The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.*
- g. *The suitability of the subject property for uses permitted or permissible under its present zoning classification.*
- h. *The availability, where relevant, of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.*
- i. *The availability, where relevant, of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under its present zoning classification.*
- j. *The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.*

In the vicinity of the proposed development are two 2-story single family residential buildings directly to the west, zoned R-8 multiple family; directly across Ashland Avenue to the east is a parking lot and one-story commercial building, zoned C-1 Central Commercial; Cossitt Elementary School, zoned IB Institutional Buildings District directly across Ashland to the southeast; directly across Harris to the south is a 4-story multi-family residential building, zoned R-8; to the southwest is a two-story single family residential building zoned R-5 Single Family; and to the north is a four story commercial office building, zoned C-1 Central Commercial, and a five story multiple family building one block to the north

Over the past decade, La Grange has experienced increased development of housing in and around downtown, including Beacon Place Condominiums (78 units) constructed in 2002; Spring Avenue Station, 410 – 420 Burlington, 55 units, built in 2001; Kensington Station, 23 town homes, developed in 1998; and Ashland Place, 14 S. Ashland, 40 units, built in 1993.

The current C-1 zoning classification *“is intended to provide for the development and maintenance of a concentrated, pedestrian-oriented commercial shopping center.”* In comparison, the proposed R-8 district *“is intended to provide areas for development at the highest residential density appropriate in the Village’s suburban setting.”* The multiple-family district is more consistent with the Village’s *Comprehensive Plan*, which identifies this property as Medium-Density Residential.

Under its present zoning classification, the proposed development would require fewer modifications to the district regulations, however, the modifications that are required would be greater. With no change in zoning classification, modifications would include: change in allowable use on first floor from commercial to residential and greater relief from density as the C-1 district only allows 12 units. Also the C-1 district is intended for commercial uses. Therefore, staff believes that the R-8 district is a more appropriate classification for this property.

RECOMMENDATION:

Staff suggests that the Plan Commission recommend to the Village Board of Trustees **approval of the Zoning Map amendment to rezone the property located at 40 S. Ashland Avenue from its current classification of C-1 Central Commercial district to the R-8 Multiple Family Residential District.**

2. PLANNED DEVELOPMENT

The applicants, 40 Ashland, LLC. & Mike Streit, have filed an application for Planned Development Final Plan approval with the Community Development Department. (Staff analysis of the site plan and application assumes that the subject property will be re-classified to the R-8 Multifamily Residential District). As permitted with Planned Development approval, the applicants have applied for relief from the following zoning requirements:

- Building Height
- Lot Area per Unit
- Required Front, Corner Side, and Rear Yards
- Building Coverage
- Total Lot Coverage

A Planned Development is a distinct category of Special Use with the same general purposes of all special uses. Section 14-502 of the Zoning Code states, “*Within a planned development, the traditional use, bulk, space and yard regulations may be relaxed if they impose inappropriate limitations on the proposed development or redevelopment of a parcel of land that lends itself to an individual planned approach.*” Among those objectives that the Village seeks to achieve through the flexibility of the planned development technique are the following:

- *Encouragement of flexibility in the development or redevelopment of land.*

- *Creation of an appreciably more desirable environment than would be possible through strict application of Village land use regulations, whether through maximization of open space, or excellent in building and site design, or provision of amenities not possible under the otherwise applicable requirements*
- *Promotion of a creative architectural and site designs and resulting development.*
- *Promotion of quality, useful open space and recreational opportunities.*
- *Promotion of environmentally sound development practices.*
- *Facilitation of development in harmony with the Comprehensive Plan.*
- *Promotion of public health, safety, and welfare.*

A Planned Development consists of two phases: (1) Development Concept Plan to provide a basic scope of the character and nature of the development and (2) Final Plan, which serves to implement, particularize and define the Development Concept Plan. As allowed by Code, the applicants have chosen to submit the two phases concurrently.

SPECIAL USE STANDARDS:

No special use permit for a Planned Development shall be recommended or granted unless the applicants establish that the proposed development will meet each of the standards made applicable to special uses pursuant to Subsection 14-401E of the Zoning Code:

- (a) Code and Plan Purposes
- (b) No Undue Adverse Impact
- (c) No Interference with Surrounding Development
- (d) Adequate Public Facilities
- (e) No Traffic Congestion
- (f) No Destruction of Significant Features
- (g) Compliance with Standards

- (a) Code and Plan Purposes: *The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.*

Maintaining diverse housing stock was identified as a priority in community workshops during the comprehensive planning process. While recognizing the predominately single-

family character of the Village, the Comprehensive Plan identifies areas appropriate for multiple family developments in order to meet the first goal of the land use section of the Plan, which is to provide “*diverse housing options for Village residents.*”

The Land Use Plan of the Village’s *Comprehensive Plan* identifies the subject property as Medium-Density Residential – “*residential areas consisting of multi-family dwellings in low-rise condominium or townhome format, which generally require 2,000 sq. ft. of lot area per dwelling unit. The type of housing includes structures that are usually two to three stories in height.*”

This project is slightly taller and denser than this classification describes. With 23 units at 5 stories, this development would be consistent with other recent multifamily developments in the immediate area including 14 S. Ashland – 40 units, 5 stories, with 4 floors of residential, and 410 & 420 Burlington – two buildings, five floors each, 25 units and 30 units. (Staff is prepared at the meeting to share a comparison of the previous multiple family developments, if requested.)

- (b) No Undue Adverse Impact: *The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.*

According to the applicants, the proposed development would replace land that has been vacant for the past 8 years with a new housing development that is consistent with the goals of the *Comprehensive Plan*. Previously located on this property was a funeral home, demolished in 2006.

- (c) No Interference with Surrounding Development: *The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.*

The proposed development is located in an area that includes: a mix of commercial, multiple family and single family residential. With the Central Commercial district directly across Ashland to the east, multiple family district to the north and south, single family residential to the west and southwest, and an elementary school to the southeast.

According to the applicants, the design is sensitive to the residential character along Harris Ave and provides a buffer between the residential district to the west and the commercial to the east. They have provided two residences on the first floor on the west side and have increased the side yard dedicated specifically to these units to function as single family residential yards and a buffer. In addition, they have designed vehicular access so as not to lessen any potential interfere with queuing for the elementary school.

- (d) Adequate Public Facilities: *The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.*

The site plan has been reviewed by the Village Management team and no issues were noted regarding the ability to service the proposed development at this location. The Police Chief has requested lighting on the back of garages.

Residents expressed concerns about utility reliability as this neighborhood has experienced problems with the electrical system. At previous hearings, the applicants stated that they have contacted ComEd to perform a load analysis to make sure that the site meets all requirements. Commissioners may wish to ask the applicants for an update on this issue.

One of the key concerns from area residents is the impact of the development on drainage and public infrastructure. In response to neighborhood concerns about drainage and utilities, consulting engineer, Baxter & Woodman, who works with the Public Works Department has provided a preliminary review. (See attached Memorandum from Baxter & Woodman). The applicants have agreed to comply with all recommendations. Staff has included these items as conditions of any approvals.

- (e) No Traffic Congestion: *The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.*

In order to lessen the impact of traffic on residential streets, the project would eliminate two curb cuts on Harris Avenue, a residential street, and use two curb cuts on Ashland Avenue for ingress/egress to internal parking and circulation. The property would also have private garages located off Ashland Avenue. With the proposed amount of units, staff generally anticipates little traffic impact on the surrounding area.

In 2005, Staff contracted with Metro Transportation to conduct a Traffic Study for a previous 12-unit mixed use development proposal. The applicants have provided an update to this study (Brand & Co., "Traffic Report") based on the current proposal for a 23-unit development.

A consulting engineer, Baxter & Woodman, who works with the Public Works Department, has reviewed the plans with the recommendation to re-construct existing sidewalks to provide ADA-compliant routes. The applicants have agreed to this and Staff recommends that this be a condition of any approvals.

- (f) No Destruction of Significant Features: *The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic or historic feature of significant importance.*

The proposed use and development would not result in the loss of any historic feature of significant importance. This property is currently a vacant parcel.

- (g) Compliance with Standards: *The proposed use and development complies with all additional standards imposed on it by the particular provision of this code authorizing such use.*

The Village recently amended the Planned Development Section of the Zoning Code. With this amendment, we created specific regulations related to a new category for smaller, infill development projects as distinct from larger, campus-style planned developments. A “Small PD” is defined as “every project that includes less than 40,000 square of total land area.” The proposed project falls within this category. Small PDs have separate standards to allow flexibility for infill projects, including elimination of the building spacing and setbacks from street rights-of-way due to the difficulty of meeting these standards on smaller lots and new standards for excellence of design.

The proposed development requires modifications from the Code for building height, lot area per unit, required front, rear and corner side yards, building coverage, and lot coverage. The applicants have expressed a willingness to comply with any additional standards imposed by the Village.

CONSIDERATIONS

In determining whether the applicants’ evidence establishes that the foregoing standards have been met, the Plan Commission shall consider:

- (a) Public Benefit: *Whether or to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.*
- (b) Alternative Locations: *Whether or to what extent, such public goals can be met by the location of the proposed site or in some other area that may be more appropriate than the proposed site.*
- (c) Mitigation of Adverse Impacts: *Whether or to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, landscaping, and screening.*

According to a local realtor with 14 years of experience in La Grange, who is working with the applicants, the proposed product, “upscale condominiums” is needed in the community. People have requested this particular product as they sell their single family houses in La Grange and look for “luxury” condominiums. La Grange competes with nearby communities such as Burr Ridge who offer this type of housing.

Throughout the public process, the primary concerns among neighbors has been the bulk of the building next to the single family residential district, the potential impact on infrastructure and construction staging. Residents generally expressed support for eliminating the ingress/egress on Harris to minimize traffic issues related to queuing for Cossitt School.

ADDITIONAL STANDARDS FOR PLANNED DEVELOPMENTS

A Small Planned Development must meet each of the following standards in addition to the special use standards:

1. Unified Ownership Required. The applicants plan to develop the property under unified ownership as “luxury” condominium units. A condominium association with Covenants and Restrictions will be in place.
2. Covenants and Restrictions to be Enforceable by Village. The applicants will provide the Covenants and Restrictions to be recorded in connection with the Planned Development. All covenants and similar restrictions may not be modified, removed, or released without express consent of the Village Board. The Village Attorney’s office will review the covenants, restrictions and easements submitted with this application. These Covenants and Restrictions will be enforced by the Village.
3. Open Space. *The applicant must show that the largest amount of open space reasonably possible has been included in the Small PD Development Plan and that open space has been assembled and designed to maximize its quality, usefulness, beauty, and value to the development. The Village may require recorded restrictions and covenants or dedication of development rights to assure the perpetual care, conservation, and maintenance of the operation of the open space and to prevent the use of common open space for any structure, improvement, or use other than that shown on the approved Small PD Development Plan. The restrictions must be permanent and not for a given period of years and must run with the land.*

Public open space, which includes public art, lighting and benches, will be located at the north east corner of the building. In addition, common open space for use only by residents and their guests will be located on the east side of the property as well as terraced decks above the garages, roof top decks surrounded by vegetated space, and private yards along the west property line.

4. Landscaping and Perimeter Treatment. *To the fullest extent possible, any area of the planned development not used for structures or circulation elements shall be landscaped or otherwise improved.* The applicants propose to provide landscaping at the property lines. The side yard (west property line) will be dedicated to the ground floor residential unit to create a private yard and a sense of connection to the single family house next door.
5. Public Improvements. New ADA compliant public sidewalks will be constructed along the south and west ends of the building. The applicants must bury all utility lines underground and has provided a landscape plan with all species identified. Underground utilities and landscaping is to be constructed or installed to Village standards at no cost to the Village. In addition the Director of Public Works and consulting engineer have requested (1) construction of a section of water main on Harris, and (2) lining or replacement of the existing combined sewer on Ashland from Harris to the alley north of Harris.
6. Excellence of Design. The building within the planned development must be of high architectural quality, with excellence of design considering the context within which the development is being proposed and the general standards stated in the “Urban Design Principles,” and “Appendix A” of the Village of La Grange Urban Design Guidelines dated February 2009. (See attached.)

According to the applicants, this project incorporates the following features: varied roof lines to create visual interest, height that is compatible with adjacent buildings, projecting octagonal bay windows, cornice line at the fourth floor, arched colonnade, “vitrine” show windows at a human scale so as not to have a blank wall at ground level, ground floor terraces on the west end, natural masonry with human scale and concealed off street parking.

ADDITIONAL STANDARDS FOR SMALL PD

When the district regulations authorizing any planned development use in a particular district impose standards to be met by such planned development in such district, a special permit for such development shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

The R-8 district requires that any increase in height and allowable lot area must meet the standards for excellence of design as outlined under (1) and (2) of “Modifications Requested” in the Section below.

BULK, YARD, AND SPACE REQUIREMENTS:

The attached table is a comparison of the applicable bulk, yard, and space requirements for the C-1 Central Commercial District, R-8 Multiple Family Residential, Planned Development standards, the previous development proposal, and the proposed development.

SITE PLAN

Site Plan review requires careful consideration of the site design elements. Some critical items that should be examined prior to granting Final Plan approval include lighting/photometrics and requests for adjustments to the Planned Development.

- LIGHTING

Subparagraph 10-101C3 (e) of the Zoning Code, states, *in no case shall such lighting exceed three (3) foot candles measured at any lot line.* In addition, Paragraph 9-101C8 states, *except for streetlights, no exterior lighting adjacent to any residential district shall be so designed, arranged, or operated to produce an intensity of light exceeding one-half foot-candle at any residential lot line.*

The applicants have not submitted a photometrics/lighting plan. Staff recommends that submittal and approval of lighting plan and photometrics be a condition of the building permit review.

- SIGNAGE

The applicants are requesting an identification sign carved into the masonry wall above the entry door on Ashland and an address number etched into the glass above the door, as well as two cast bronze, directional plaques for “private drive” and “private parking.” Staff believes that as proposed the signage appears to be high quality, uniform, and consistent with character of the development.

AUTHORITY TO MODIFY REGULATIONS

Section 14-509, *Authority to Modify* of the Zoning Code, states that “the Board of Trustees, as part of an approval of any planned development, may modify any provision” of the Zoning Code subject to limitations:

1. *Will achieve the purposes for which planned developments may be approved pursuant to Section 14-502;*
2. *Will not violate the general purposes, goals, and objectives of this Code and the Official Comprehensive Plan; and*
3. *Will result in a development providing compensating amenities to the Village. Compensating amenities means features not otherwise required to achieve compliance with the standards of this Code or other applicable Village codes and ordinances, including such things as public art, plazas, pedestrian walkways, natural habitats, increased landscaping, buffering or screening, enhanced streetscape, enhanced pedestrian and transit supportive design, underground parking and similar features. Compensating amenities must be proposed as part of a PD application, and all compensating amenities, whether public or private, must be developed and constructed at the applicant's expense.*
4. *Subject to the standards set forth in this paragraph, a compensating amenity may be in the form of a cash contribution. If the Board of Trustees approves a cash contribution, then the contribution must be made by the applicant to the Village prior to the issuance by the Village of any permit authorizing construction related to the project. The Board of Trustees may approve a cash contribution only if (a) the project site is inadequate for any physical on-site compensating amenity as a result of its size, shape, or other topographic feature, (b) there is no immediate need for a compensating amenity on public property abutting or adjacent to the project site, and (c) there is a compelling and appropriate compensating amenity, as determined by the Board of Trustees, for which a cash contribution can be designated.*

MODIFICATIONS REQUESTED:

The site plan, as proposed, requires a number of modifications from R-8 Multiple Family Residential provisions of the Zoning Code:

1) Height

In the R-8 Multiple Family Residential District in which the subject property is located, the maximum height is 45 feet or 3 stories. The applicants have proposed a height of 53.75 feet, 5 stories. According to Paragraph 5-110F2 of the Zoning Code, Height Adjustments in Planned Developments, "no adjustment pursuant to the maximum allowable height requirement shall increase the maximum allowable height to more than the greater of five stories or 70 feet in any R-8 district." The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

Commissioners may wish to ask for clarification from the applicants on the measurement of height and location of parapet wall, equipment, etc.

The proposed height would be consistent with the character of a few buildings in the immediate area that have a height of five stories including the AT&T building directly to the north of the subject property, which is approximately 56.67 feet high; 14 S. Ashland one block to the north, and 410 & 420 Burlington Avenue.

2) Lot Area per Unit

The total lot area per unit allowed for multiple family uses in the R-8 district is 1,300 square feet per unit, which equals maximum of 19 units (25,324 sq. ft. /1,300 =19.48). The proposed development would have a total of 23 units, equal to 1,101 square feet per unit, which is within the authorized limits of the Zoning Code for a Planned Development.

This requested amount of units is consistent with other multiple family developments constructed in the last 15 years. As background, a greater level of density (936 square feet of lot area per unit) was granted to Rycon Development in 1993 at La Grange Plaza Condominiums, 14 S. Ashland Avenue one block to the north of the subject property. This density was approved for a viable development in the downtown area.

According to Section 4-110 of the Zoning Code, no adjustment to height or density shall be recommended or authorized except on the basis of the development's excellence in achieving the purposes of planned developments. In determining whether such excellence has been shown, special consideration shall be given to the following factors:

- (a) *the amount of usable open space; and*
- (b) *the extent of land dedication for public building sites and open space; and*
- (c) *the quality and extent of landscaping, including special elements such as water features and public art; and*
- (d) *the quality and extent of recreational facilities such as swimming pools, tennis courts, playgrounds, and other residential recreational facilities; bicycle, hiking, and jogging trails; and community centers; and*
- (e) *the quality of design of vehicular circulation elements and parking lots/areas; and*
- (f) *the care taken to maximize energy conservation in site design, building design, and building systems; and*
- (g) *the quality of roof design and finishes in terms of consistency with an attractive residential setting and the avoidance of flat roofs.*

We find that the developer has addressed the following factors:

- (a) The project includes an outdoor patio for the residents next to the resident to the west and rooftop terraces above the garages for the first floor residents.
- (b) The original application proposed an open plaza at the northeast corner of the property for public use – this has been revised to accommodate short term guest parking for the project. According to the applicants, they propose to provide a public plaza with seating, paving, landscaping and decorative lighting along Ashland and Harris Avenue.
- (c) Site landscaping and elements are provided along both streets.
- (e) Vehicular circulation and parking will be contained within the development and behind the building with consolidated entrance.
- (f) According to the Applicants (see “Statement on Energy + Design” in the application), the proposed ‘vegetated gardens’ on the roofs of the building and private garages are incorporated to address the “heat island effect” and to address storm water management.
- (g) Design of the project has evolved through meetings with the public, staff and Commissioners in terms of consistency, design, and providing orientation toward both streets, specifically Ashland Avenue.

3) Required Yards

The applicants are seeking relief from the required front, corner side and rear yards. (For further information, attached is an exhibit, “Front and Corner Side Yards,” that shows the corner side and front side yards in the immediate area):

- *Front Yard (Ashland Avenue)*: In the R-8 Multiple Family Residential District, in which the property is located, the requirement for front yards is 33 feet (60% of the building height (55 ft. x 0.60 = 33 ft.)) The applicants have proposed a 0.067 foot setback, which would not meet the zoning requirements. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

This proposed setback is consistent with the commercial district directly across Ashland Avenue.

- *Corner Side Yard (Harris Avenue)*: The requirement for corner side yards in the R-8 district is 17 ft. The applicants have proposed an 11.83 ft. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

On the north side of Harris Avenue, the average yard on the immediate block is 15.45 feet. There is a wide range of yard space – the single family home directly to the west is 20.64 feet (measured to the front porch), while the multiple family building directly across Harris is only 5.4 feet. At the other end of the block, the corner building at Kensington and Harris Avenue has a corner side yard of 5.5 feet. Looking at the other corner properties in the area, staff believes that this is consistent with the character of the area for multiple family housing.

- *Rear Yard (west)*: The requirement for rear yards in the R-8 district is 26 feet (20% of the lot depth (130.45ft. x 0.20 = 26.09 ft.)) The applicants propose a yard of 22.40 ft. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

The single family home directly to the west of the property could be developed to within 5 feet of the side lot line. This request is consistent with the character of the residential area.

4) Maximum Building Coverage

Maximum Building Coverage for this lot is 40% or 10,129.60 square feet. The Residences at Ashland Avenue, to achieve the design that is desired, propose a building coverage of 15,368 square feet or 60%, an excess of 5,242 square feet or 51%. (The Planned Development standards do not limit the allowable increase in building coverage. However, the Zoning Code limits standard variation requests to an increase of the maximum allowable building coverage by no more than 20%.) The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

5) Maximum Total Lot Coverage

Maximum Total Lot Coverage, which includes all buildings, structures and impervious surfaces in the R-8 district, is 60% or 15,194.41 square feet. Proposed lot coverage is 19,083 square feet or 75.3%. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development. (Note that the project would require compliance with the newly revised site design standards and site grading and drainage review by the Village Engineer prior to issuance of a building permit.)

RECOMMENDATION:

At the hearing, the Applicants will present additional information and the public will have an opportunity to comment on the application. If the Plan Commission finds that the standards have been adequately addressed for the relief being sought, Staff recommends that the following be voted upon as a single motion by the Plan Commission. **(1) Amendment to the Zoning Map from C-1 Central Commercial to R-8 Multiple Family Residential; (2) Site Plans and Appearance Plans, dated September 15, 2014; and (3) Special Use Permit/ Planned Development (including development concept plan and final plan) as submitted in Plan Commission Case #220, with the following conditions:**

1. Lighting Plans. Location, size and arrangement of all exterior lighting be submitted by the applicants for compliance with the Code prior to issuance of a building permit, including photometrics and all fixtures.
2. As part of the public contribution requirement to obtain relief under a Planned Development, the Applicants provide the following:
 - Monetary contribution (amount to be negotiated with Village staff prior to submission to the Village Board) to contribute to construction of (1) a section of water main on Harris to ensure sufficient quantity and security of water flow to the site, and (2) lining or replacement of the existing combined sewer on Ashland from Harris to the alley north of Harris.
3. Sidewalks. Reconstruction of existing sidewalks to provide ADA-compliant routes.
4. Construction Staging Plan. Prior to issuance of a building permit the applicants shall prepare and file with the Village, for review and approval, a construction staging plan including delivery routes, construction parking, and street clean-up.
5. Grading and Stormwater Management plans shall be submitted and approved by the Village Engineer prior to Village Board approval.
6. Final Engineering Plans shall be approved by the Village prior to the issuance of any building permits.
7. Underground Utilities. Utility burial plan shall be approved by the Village prior to issuance of any building permits, and the applicants shall bury all on-site utility lines underground.
8. Landscaping Plans. Final landscaping details with a tree preservation plan shall be submitted with the application for building permit approval.

5-17.58

9. Materials. Final building material samples shall be identified fully as to manufacturer, make and model prior to Village Board approval. No deviation from approved materials will be allowed.
10. Screening. Refuse containers must be fully enclosed by an opaque fence, wall or densely planted evergreens of a height to completely screen such containers.
11. Conditions Covenants and Restrictions must be provided to satisfaction of the Village Manager.
12. Permits. Permits will be needed for outside entities including but not limited to MWRD and IEPA.
13. Soil Borings.
14. Fire Department review of hydrant spacing, location and connections prior to issuance of a building permit.
15. Signage. Final approval of materials and a sign package will be required before permitting and installation.

40 S. Ashland
Bulk, Yard, Space Requirements
October 14, 2014

Standard		C-1 Central Commercial District	R-8 Multiple Family Residential	Planned Development Standards	Previous Development Proposal (PC #219)	Current Development Proposal (PC #220)**
Use		Multiple family dwellings but not on first floor	Multiple family dwellings	Same	Multiple Family Building	No Change
Maximum Height		3 stories or 45' (whichever is less)	3 stories or 45' (whichever is less)	May be increased to 70'	56' 0", 5 stories *Requires Modification under PD	Decreased to 53' 8", 5 stories *Requires Modification under PD
Minimum Total Lot Area		None	Minimum 12,000 sq ft	Minimum 15,000 sq ft. May be reduced by not more than 50%	25,324 sq. ft.	No Change
Minimum Lot Area Per Unit of 2,000 square feet		Min 2,000 sq. ft. per unit Permitted: 12 units (25,324 ft ² / 2,000 = 12.662 = 12 units)	Min 1,300 sq. ft. per unit Permitted: 19 units (25,324 ft ² / 1,300 = 19.84 = 19 units)	None specified	24 units maximum (1,055 sq. ft. per unit) *Requires Modification under PD	Reduced to 23 units (1,101 sq. ft. per unit) *Requires Modification under PD
Minimum Lot Width		Minimum 50 ft.	Minimum 50 ft.	None specified	184 ft.	No Change
Minimum Required Yards	Front Yard (Ashland Avenue)	N/A	Minimum 60% of building height or 25 ft. (whichever is greater) Required: 33 ft.	None specified	8.69 ft. *Requires Modification under PD	Reduced to 0.067 ft *Requires Modification under PD
	Interior Side Yard	N/A	Min. 10% of lot width or 5 ft (whichever is greater) Required: Min. 18.4 ft. (184 ft. x 0.10 = 18.4)	None specified	20 ft.	No Change
	Corner Side (Harris Avenue)	N/A	17' (east side)	None specified	11.5 ft. *Requires Modification under PD	Increased to 11.83 ft. *Requires Modification under PD
Minimum Required Yards	Rear Yard (West Lot Line)	N/A	Min. 20% of lot depth or 20 ft. (whichever is greater) Required: Min. 26.09 ft (130.45 x 0.20 = 26.09)	No yard specified	15 ft. *Requires Modification under PD	Increased to 22.40 ft. *Requires Modification under PD

5-A-60

40 S. Ashland
Bulk, Yard, Space Requirements
October 14, 2014

Standard		C-1 Central Commercial District	R-8 Multiple Family Residential	Planned Development Standards	Previous Development Proposal (PC #219)	Current Development Proposal (PC #220)**
Minimum Dwelling Unit Size	One Bedroom/ Efficiency	None specified	Minimum 650 sq. ft.	N/A	N/A	N/A
	Two Bedroom	None specified	Minimum 850 sq. ft.	N/A	1,236 sq. ft.	1,250 sq. ft.
	Three Bedroom	None specified	Minimum 1,000 sq. ft.	N/A	2,665 sq. ft.	2,305 sq. ft.
	Four Bedroom	None specified	Minimum 1,150 sq. ft.	N/A	N/A	N/A
Maximum Building Coverage		Maximum 100% Permitted: 25,324 sq. ft.	Maximum 40% Permitted: 10,126 sq. ft.	N/A	15,401.5 sq. ft. (60.8%) *Requires Modification under PD	15,363 sq. ft. (60.6%) *Requires Modification under PD
Maximum Total Lot Coverage		N/A	Maximum 60% Permitted 15,194 sq. ft.	Must provide largest amount reasonably possible	20,230.74 sq. ft. (79.9%) *Requires Modification under PD	19,083 sq. ft. (75.3%) *Requires Modification under PD
Minimum residential parking spaces of 1.5 per dwelling unit		Multiple Family Residential: 1.5 spaces per dwelling unit Required: Min. 36 spaces (24 units x 1.5= 36 spaces)	Multiple Family Residential: 1.5 spaces per dwelling unit Required: Min. 36 spaces (24 units x 1.5= 36 spaces)	N/A	35 spaces (1.46 per unit) *Requires Modification under PD	Increased to 37 spaces (1.60 per unit)
Off-Street Loading		N/A	N/A	N/A	N/A	N/A

**Proposed development (column furthest to the right) assumes zoning map amendment to R-8.

5-A.61

BRAND&CO

Patrick Benjamin
La Grange Community Development
53 S. La Grange Rd.,
La Grange, IL 60525

November 13th, 2014

Dear Patrick,

I am writing to inform you that we have directed our civil engineer, Allen Carradus, to design a water retention system consistent with the Village Engineer's, Ryan Gillingham, recommendation.

Please feel free to call or email with any additional questions.

Thank you,



Adam Friedberg
Brand & Co.

CC: Angela Mesaros

5-A.62

VILLAGE OF LA GRANGE
Department of Public Works

MEMORANDUM

TO: Robert J. Pilipiszyn, Village Manager
FROM: Ryan Gillingham, Public Works Director
DATE: August 7, 2014
RE: 40 S. Ashland Development
Brand & Company
Plan Commission Development Review

The purpose of this memorandum is to provide comments for Plan Commission consideration related to the proposed development at 40 S. Ashland. This property is located at the northwest corner of Ashland and Harris Avenue. The comments contained within this memorandum are focused on the relationship and impact of the development on the existing public infrastructure and review of the proposed private infrastructure.

As background, Village staff and the development team met on April 7, 2014 to review the preliminary site plans provided by the developer. At this time preliminary staff comments were provided to the developer regarding the project including a general overview of the storm water management requirements that would be required for the site. On May 20, 2014, Village staff again had a detailed conversation with the developer regarding site development requirements. Specifically staff indicated to the developer that storm water detention would be required for the site with a condition that a minimum 3" restrictor size would be required. At the request of the developer the Village added this development to the list of developments submitted to the Metropolitan Water Reclamation District for exclusion from the newly adopted Cook County Watershed Management Ordinance. While the development was added to this list, adequate provisions for storm water management are still required per the Village regulations.

The Village then hired the consulting engineering firm Baxter & Woodman to perform an engineering review of the documents submitted for the proposed development based on Village codes, polices, and best engineering and development practices. Their review dated July 2, 2014 is attached to this memorandum for your reference. Please note that a number of the comments provided within the engineering review would be addressed as part of the final engineering for the development, but are important to note for the developer at this time so that an understanding of the requirements that will guide the development are known.

Baxter & Woodman's comments were provided to the developer and were included in the Plan Commission staff memorandum for the Plan Commission meeting on July 8, 2014.

5-1A.63

On July 30, 2014, Village staff and representatives of Baxter & Woodman met with the development team to discuss the engineering comments contained with the memorandum dated July 2, 2014. Unfortunately the development team had not reviewed Baxter & Woodman's memorandum or provided additional engineering information prior to the July 30 meeting. In order to complete the preliminary engineering typical for a high level assessment of engineering issues, a topographical survey of the site is required. This activity has not been completed by the developer. Therefore, the information provided to date by the developer is insufficient to determine if the proposed development meets Village regulations for storm water management.

Therefore we recommend that, as a condition of development approval, the following storm water drainage standards be required:

1. The maximum storm water release rate from the site shall be limited to either 0.3 cubic feet per second per acre or the actual release rate from a 3" diameter restrictor.
2. On-site storm water detention shall be provided for the 24-hour, 100-year storm event, based on Illinois State Water Survey Technical Bulletin 70 Northeastern Illinois rainfall. Runoff hydrograph calculations (e.g., TR20 or TR55) need to be used.
3. The minimum freeboard shall be 3" from the top of the high water elevation in the clogged restrictor condition to the lowest garage floor elevation.

In summary we recommend that the Plan Commission require the developer to incorporate the above comments and those provided by Baxter & Woodman as a condition of approval for the development.

8840 W. 192nd Street
Mokena, IL 60448
815.459.1260
708.478.8710
www.baxterwoodman.com
info@baxterwoodman.com



Memo

To: Ryan Gillingham, P.E., Director of Public Works

From: Steve Amann, P.E., CFM

Date: July 2, 2014

Project No.: 140566.80

Subject: 40 South Ashland – Preliminary Design Review

The following comments summarize the larger engineering issues pertaining to the planned residential development at the northwest corner of Ashland Avenue and Harris Avenue. This review is based on the items included in the development application package dated June 5, 2014. Please note that this is not a comprehensive review, since the plans do not have sufficient detail at this point to fully evaluate all of the applicable requirements.

Overall Submittal

1. A comprehensive soils report, based on site borings and analysis, is needed to design buildings and pavements, and analyze groundwater impacts on below-grade construction of buildings and utilities.
2. Construction permits will be needed from the following outside agencies, at a minimum:
 - a. Metropolitan Water Reclamation District of Greater Chicago; and
 - b. IEPA Division of Water Pollution Control (for sanitary sewer construction).
3. A complete, current topographical survey of the site and surrounding areas will be needed to describe current conditions, particularly the direction of runoff from the site, and the location of on-site improvements such as storm sewers and utility service connections for the previous building. This will be needed prior to preparation of the final engineering plans and supporting documents.
4. Construction of a section of water main on Harris Avenue is needed in conjunction with this development to ensure sufficient quantity and security of water flow to the site.
5. Lining or replacement of the existing combined sewer on Ashland Avenue from Harris to the alley north of Harris is needed in conjunction with this development to ensure that the existing sewer will remain sound during the proposed construction.

Grading and Stormwater Management

The detention facilities and release design for this site need to address the following issues:

6. Since this site has been vacant for eight years, the proposed runoff needs to be compared to the current conditions as well as the previously-developed conditions.

5-A.65

7. The maximum release from this site in the 100-year event needs to be limited to 0.30 cubic feet per second per acre, or the existing release from this site, whichever is less. The design has to demonstrate a net benefit to the Village's already-overloaded combined sewer system.
8. Supporting calculations are needed for the design, including runoff hydrograph modeling, runoff curve number calculations, time of concentration calculations supported with flow path diagrams, and restrictor sizing calculations reflecting tailwater conditions in the receiving sewer. The MWRDGC's nomograph for small sites, if applicable per the MWRDGC, may be used to determine the required storage volume.
9. The term "CFS-AC" used in the narrative needs to be explained.
10. The existing on-site catch basin (and any other on-site or adjacent drainage facilities not currently discussed) needs to be included in the stormwater analysis and design.
11. Assumptions regarding existing runoff patterns and runoff coefficients need to be replaced with supported calculations.
12. Rooftop detention is strongly discouraged because of the potential for this stormwater to leak into the building.
13. If runoff will be stored in the parking lot, it will need to be provided with an overland flow route with a calculated high water level at least one foot below the lowest opening into the structure or any adjacent existing structures.
14. 100-year flow routes are needed for the entire site, including the building.
15. Downspouts need to be connected to the storm sewer system.
16. The eight-inch outlet pipe needs to be at least a 12-inch pipe, with a restrictor (minimum 3-inch diameter) located inside an accessible, maintainable structure.

Utilities

17. The existing utility services to this site need to be disconnected in accordance with Village requirements.
18. Fire Department review is needed for the hydrant spacing and locations, as well as the Fire Department Connections on the building.
19. The final engineering and building submittals will need to include domestic and fire water service sizing calculations per the Illinois Plumbing Code, reflecting fire flow tests to be done by the developer.

Access and Circulation

20. The rear driveway needs to be straightened out. Maneuvering the proposed reverse curve will be difficult and dangerous for passenger vehicles, and even more so for delivery, garbage and emergency vehicles. In addition, it should line up with the existing alley on the east side of Ashland Avenue, decreasing the number of conflict points on Ashland.
21. The existing sidewalks on and around the site will need to be reconstructed to provide and ADA-compliant accessible route.
22. The applicant needs to develop and estimate of the expected site-generated traffic, based on standard land use categories in the Institute of Transportation Engineer's Trip Generation Manual.

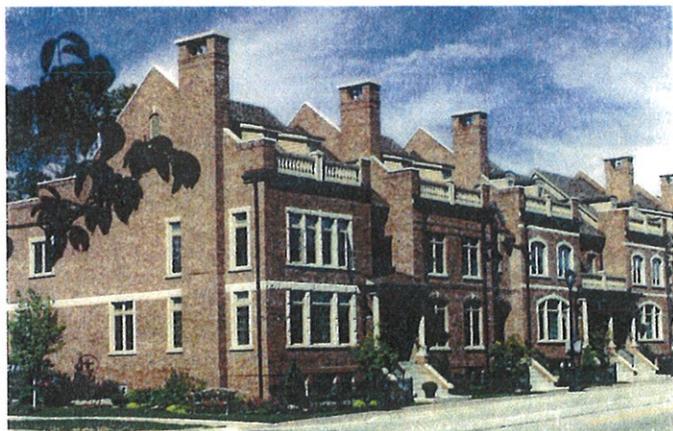
During the course of this review, we noted additional items which will need to be addressed prior to final plan approval. It would be premature to attempt to list, address and resolve these issues since the plans will likely go through several revisions prior to becoming final construction documents. Additional information and calculations will be necessary to support the design.

Please let us know if you have any questions or need any additional information.

VILLAGE OF LAGRANGE URBAN DESIGN GUIDELINES

ARCHITECTURAL DESIGN - COMMERCIAL

1. Buildings should not exceed five stories in height within the Corridor, and should be sensitively designed to be compatible with their surroundings regardless of height.
2. The overall mass and bulk of buildings should be broken down with vertical "storefront" divisions and/or changes in exterior materials, to remain compatible in scale with older structures.
3. Rooflines should be varied for visual interest - parapet wall construction is most appropriate for commercial and mixed-use structures.
4. Architectural details - such as facade accents, balconies and awnings - can also serve to break down the scale of larger buildings and provide visual interest.
5. Masonry, stone and other natural exterior materials are most appropriate within the context of the Corridor.
6. Commercial storefronts should be located along the "street wall" and have large windows for merchandise display, encouraging a window shopping and strolling atmosphere.
7. Small scaled and non-illuminated signage is most appropriate within the Corridor; large and garish "box" signs or signs with moving parts are not in keeping with the character of the area.
8. Off-street parking spaces for commercial developments should be screened from view along public rights-of-way.



ARCHITECTURAL DESIGN - MULTI-FAMILY RESIDENTIAL

1. Buildings should not exceed five stories in height within the Corridor, and should be sensitively designed to be compatible with their surroundings regardless of height.
2. Rooflines should be varied for visual interest - sloping roofs and gable elements are most appropriate for multi-family residential structures.
3. Architectural details - such as facade accents, balconies and entry porches can also serve to break down the scale of larger buildings and provide visual interest.
4. Masonry, stone and other natural exterior materials are most appropriate within the context of the Corridor.
5. Townhouse units should address the street by providing individual entrances for each unit.
6. Outdoor off-street parking spaces and garage entrances for multi-family residential developments should be concealed from view along public rights-of-way.

5-A.67

DESIGN GUIDELINES CHECKLIST

Buildings in the BNSF Railroad Corridor should reflect the context of the surrounding area as well as the principles and policies established in the Urban Design Guidelines. The checklist below should be referenced when designing a new building or renovating an existing building. Please indicate all the characteristics that have been incorporated into the design of the project.

Height

- Building height is less than 5 stories
- Height compatible with adjacent buildings

Facade Design

- Overall mass and bulk broken into vertical divisions
- Rooflines varied for visual interest
- Facade accents, balconies and other elements provide visual interest
- Storefronts are located along the "street wall" (if applicable)
- Large windows for merchandise display (if applicable)
- Townhouse entrances visible and accessible from street (if applicable)

Building Materials

Appropriate materials include, but are not limited to

- Masonry
- Stone
- Other natural materials

Signage

- Small scale (if applicable)
- Non-illuminated
- Signs with dimension or depth
- Individual letters preferred to "box" signs
- No moving parts

Streetscape

- Sidewalks provided with width of at least 15 feet at storefronts
- Pedestrian "walking zone" of approx. 10 feet adjacent to storefronts
- "Amenity" zone provided at the curb for planters, street trees and benches
- Ornamental lighting located at off-street pedways and pedestrian crossing areas
- Street trees in either grates or planted parkways
- Benches, trash receptacles and other pedestrian amenities visually coordinated.
- Plantings in low planters/planting beds

Parking Facilities

- Off-street parking spaces and garage entrances concealed from view along street(s)
- Perimeter fencing and plantings to provide buffer
- Parking areas visually concealed behind or beside buildings
- Easy to find and accessible
- Clear signage and adequate lighting for wayfinding and security
- Shade trees within planted islands

Parking Structures

- Open in design
- Partially below grade if feasible to minimize overall height
- High quality exterior materials and landscape to blend in visually with surroundings

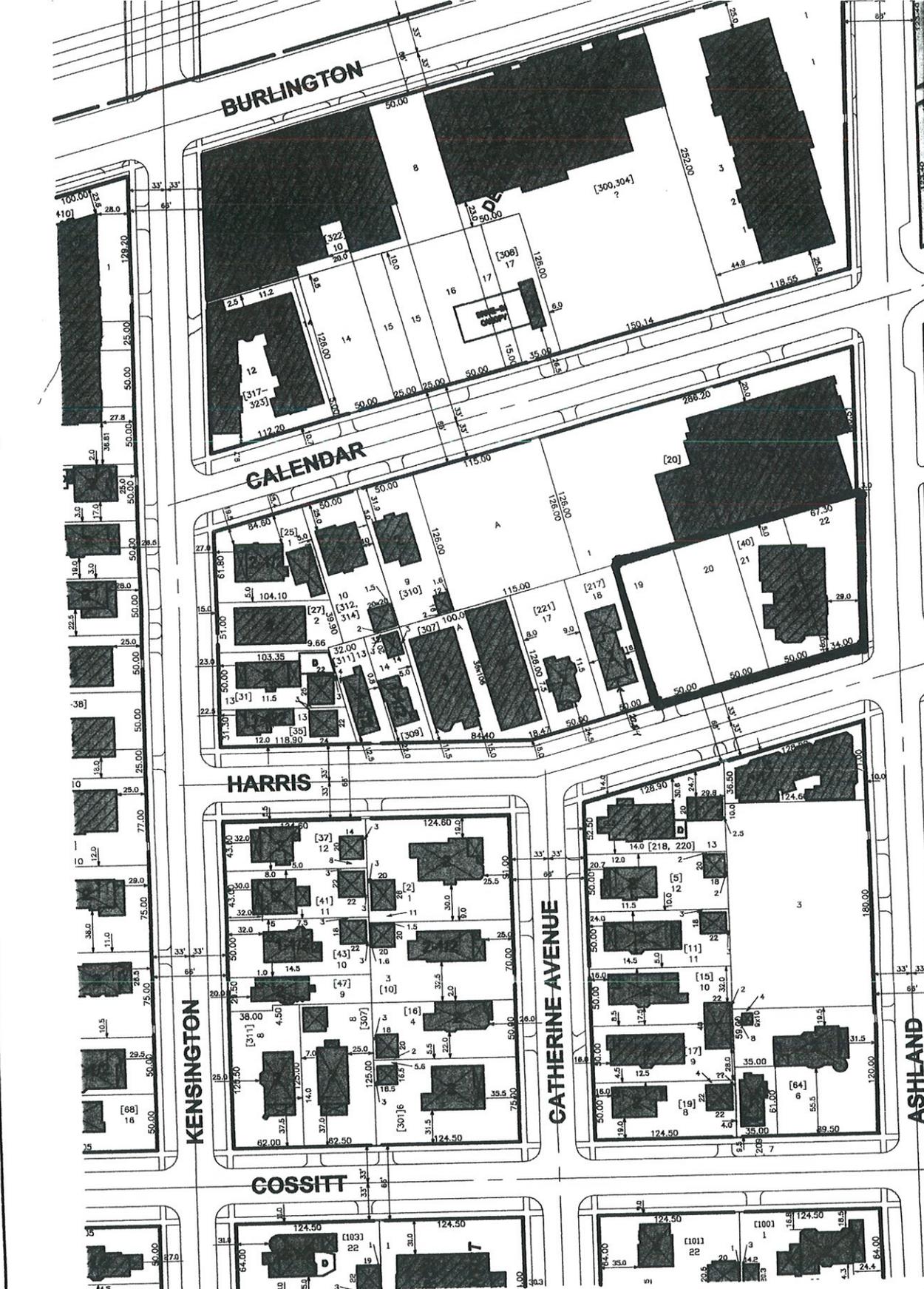
5-A.68

Cost Estimate for Infrastructure Improvements at 40 S. Ashland Ave, La Grange, IL

No.	Pay Item	Approximate Quantity	Unit Price	Amount
1	WATER MAIN INSTALLATION (OPEN CUT): 6-inch RJT, DI	30 Lin Ft.	\$ 200	\$ 6,000
3	CONNECT TO WATER MAIN (NON-PRESSURE):	2 Each	\$ 3,000	\$ 6,000
4	WATER MAIN FITTINGS (RJT): 6-inch 45° Bend 6-inch 22.5° Bend 6-inch Solid Sleeves (long type)	4 Each 2 Each 1 Each 1 Each	\$ 600	\$ 2,400
6	ABANDONMENT OF EXISTING WATER MAINS AND APPURTENANCES:	Lump Sum		\$ 2,000
7	COMBINED SEWER LINING: 15-inch Service Lateral Reinstatements	170 Lin Ft. 3 Each	\$ 125 \$ 500	\$ 21,250 \$ 1,500
8	GRANULAR TRENCH BACKFILL:	30 Lin. Ft.	\$ 50	\$ 1,500
9	PAVEMENT RESTORATION: 2-inch HMA Surface 10-inch PCC Base Curb & Gutter	30 Sq. Yd. 30 Sq. Yd. 30 Lin Ft.	\$ 50 \$ 100 \$ 45	\$ 1,500 \$ 3,000 \$ 1,350
10	RESTORATION OF LAWNS AND PARKWAYS: Sodding	20 Sq. Yd.	\$ 25	\$ 500
11	TRAFFIC CONTROL AND PROTECTION:	Lump Sum		\$ 4,000
12	EROSION AND SEDIMENTATION CONTROL: Inlet Protection	2 Each	\$ 750	\$ 1,500
13	PRECONSTRUCTION VIDEO RECORDING:	Lump Sum		\$ 2,000
				CONSTRUCTION: \$ 55,000
				CONTINGENCIES (20%): \$ 11,000
				DESIGN ENGINEERING: \$ 10,000
				CONSTRUCTION ENGINEERING: \$ 10,000
OPINION OF TOTAL PROJECT COST:				\$ 86,000

5-A.69

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DATE	REVISED BY	DATE	REVISED BY
4/99	LEV		
5/97	LEV		
3/95	DC		
9/91	LEV	9/2010	DMM
7/91	NEW	8/02	LEV, NW

5-A.7D

PC #219
FRONT &
SIDE
YARDS

HILLGROVE AVE

& Q RR

JURLINGTON AVE

ASHLAND AVE

CALENDAR AVE

240 S.

HARRIS AVE

PINE AVE

HLAND AVE

MADISON AVE

122

124

127

125

123

128

"R"

"S"

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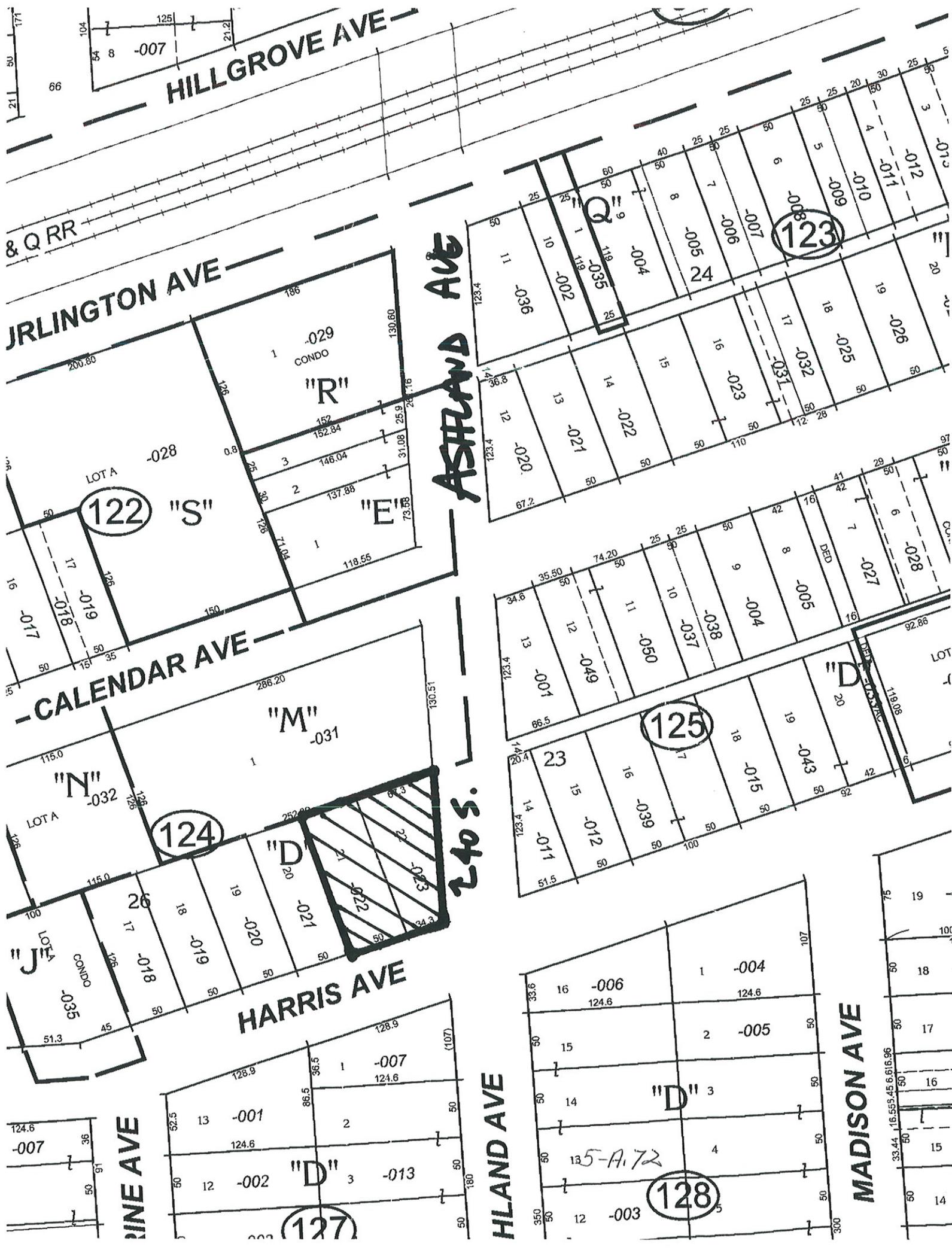
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135-A, 72



VILLAGE OF LA GRANGE
Administration Offices

BOARD REPORT

TO: Village President, Village Clerk,
Board of Trustees

FROM: Robert J. Pilipiszyn, Village Manager
Lou Cipparrone, Finance Director
Mark Burkland, Village Attorney

DATE: November 24, 2014

RE: **ORDINANCE — REFERENDUM QUESTION TO AUTHORIZE A
THREE-QUARTER PERCENT INCREASE IN THE VILLAGE'S
NON-HOME RULE SALES TAX**

BACKGROUND

The Village Board in April 2014 adopted a 1.0% tax on “places for eating” (commonly called a food and beverage tax). The revenue generated by the food and beverage tax was targeted for (1) maintaining core Village services at their current level, (2) funding increased police and fire pension contributions, (3) partially funding a school resource officer at LTHS’s north campus, (4) parking management, and (5) rebuilding the Village’s reserve fund.

Two matters have occurred since enactment of the food and beverage tax. First, the La Grange 2020 Task Force issued its report (in June 2014) recommending, among many other things, that the Village Board proactively work on (1) maintaining and replacing water mains, sewer mains, and other aging infrastructure, (2) enhancing public safety operations, and (3) spurring economic development.

Second, severe rain storms caused flooding in numerous locations in the Village, prompting close scrutiny by the Village Board and staff of how the Village’s storm water systems can be improved and at what cost.

Both of these items propose important initiatives that the Village Board supports, but which the Village’s budget cannot currently support due to inadequate revenue.

Earlier in the year, President Livingston first met with management staff to review steps the Village can take to responsibly address the Board’s and community’s strategic goals in the post-TIF era. Later, steps to address critical infrastructure, including storm water management, were added. Upon further discussion and refinement with staff, these are the components of the plan as currently being considered:

- Increase the Village's current local retail sales tax of 0.25% to 1.00%.
- Roll back the current 1.0% food and beverage tax to 0.25%, a 0.75% decrease that corresponds to the 0.75% increase in the retail sales tax.
- Impose a property tax "freeze" on the 2015 levy.

REFERENDUM QUESTION

The Illinois Municipal Code, which governs municipal taxes, requires that a retail sales tax or service tax increase must be approved by voters through a referendum. The Village Board may initiate the referendum by adopting an ordinance calling for the question to be submitted to the electors of the Village. In this case, the proposed referendum question for the Spring consolidated election on April 7, 2015, would ask voters whether the Village should be authorized to enact an increase to a "Non-Home Rule Municipal Retailers' Occupation Tax" (more commonly called a local retail sales tax and corresponding service tax). The ordinance must be filed with Cook County by January 20, 2015.

The ballot question would read as follows:

Shall the corporate authorities of the Village of La Grange be authorized to implement an increase of 0.75% to the rate of the existing 0.25% non-home rule municipal retailers' occupation tax and non-home rule municipal service occupation tax for property tax relief and for expenditures on public infrastructure and Village operations?	Yes
	NO

If voters approve the increase, then the Village Board would choose when to impose the increased tax. If the Village files with the Illinois Department of Revenue, by May 1, a certified copy of the ordinance and a certification that the ordinance received referendum approval, then the Department of Revenue would proceed to administer the tax as of July 1. If the Village misses the May 1 deadline, then the next opportunity for the tax to be implemented would be by a filing the certified documents by October 1 for commencement of the tax on January 1, 2016. Notably, approval of the referendum authorizes the Village to impose the tax, but does not require the Village to do so.

IMPACT OF INCREASED TAX

The Staff estimates that the proposed increase in the retail sales tax would generate approximately \$900,000 of new revenue in the first full year of its implementation.

The new revenue would be offset by approximately \$415,000 by the reduction of the food and beverage tax and the property tax "freeze." The Staff thus estimates that the net increase in annual revenue from the retail sales tax would be approximately \$485,000.

The new revenue would be applied to flood mitigation projects, public safety, and economic development.

Attached is a one-page budget summary detailing the impact of new revenues (1% non-home rule sales and service tax and increases in utility/simplified tax and sewer rates) necessary to fund bonds for flood mitigation projects, and public safety/economic development operating expenditures. With the proposed revenue enhancements, the Village is able to accomplish additional strategic priorities/objectives without having a negative impact on the Village's overall financial condition. Please note, the Fund Balance reserve amount is the same (\$7.3 million or 47.9%) in year 5 under both the Maintenance and Referenda Budgets.

The Village Board may elect to issue alternate revenue bonds to finance flood mitigation projects. Alternate revenue bonds pledge a specific revenue source and carry the full faith and credit of the Village, acting as additional security for investors. The issuance of alternate revenue bonds does not require voter approval, but is subject to a modified-form of public referendum to be pursued by taxpayers, which is called a "backdoor referendum." A backdoor referendum provides that if 7.5% or more of registered voters file a petition in connection with the issuance of the alternate revenue bonds within 30 days of publication of the authorizing bond ordinance, this satisfies a legal requirement to place these matters on the next general election ballot for voter approval.

The Staff believes the proposed increase in the Village's retail sales tax is sound fiscal policy. The tax is a broad-based user tax. The tax will not have a disproportionate impact on any particular business, as does the food and beverage tax. Moreover the sales tax will not be borne disproportionately by Village residents. In fact, the Village anticipates that non-resident spending would account for more than 50 percent of the tax receipts.

In addition, funds from the increased retail sales tax will relieve the Village from spending property tax receipts on capital projects. And Village residents will be spared from any Village-initiated property tax increase in 2015.

ADVOCACY

If the Village Board moves forward with the referendum initiative, then we will circulate a brief memorandum regarding what advocacy of the referendum is permissible and not permissible by the Village and its officials.

NEXT STEPS

This matter has been placed on the Village Board's meeting agenda this evening for purposes of discussion. If there is consensus direction at the conclusion of the discussion to place this matter as proposed on the April 7 ballot, the attached ordinance is in a final form which can be approved this evening. Otherwise, the discussion can be continued to the Village Board's next meeting, which is Monday, December 8, 2014.

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**VILLAGE OF LA GRANGE
GENERAL FUND W/ REVENUE OPTIONS
FUND BALANCE SUMMARY THROUGH APRIL 30, 2019**

<u>Maintenance Budget</u>	Actual 2013-14	Budget 2014-15	Budget 2015-16	Budget 2016-17	Budget 2017-18	Budget 2018-19
Revenues	13,052,689	13,720,567	14,037,604	14,383,311	14,803,095	15,234,884
Expenditures	(13,481,679)	(13,474,648)	(13,843,839)	(14,256,014)	(14,739,337)	(15,261,563)
Surplus/(Deficit)	(428,990)	245,919	193,765	127,297	63,758	(26,679)
Fund Balance	6,716,225	6,962,144	7,155,909	7,283,206	7,346,964	7,320,285
% Of Annual Exp.	49.82%	51.67%	51.69%	51.09%	49.85%	47.97%

	Est. Actual 2013-14	Budget 2014-15	Budget 2015-16	Budget 2016-17	Budget 2017-18	Budget 2018-19
<u>Revenue Options</u>						
+ .Additional 75% Non-Home Rule Sales Tax-to 1% total Referendum Spring 2015, Effective July 1, 2015 (10 months)			750,000	900,000	900,000	900,000
+ Utility/Simplified Tax to Max rates (5% & 6%; respectively)			400,000	400,000	400,000	400,000
+ Sewer Rate Increase - 50% to \$1.50 per 100 cf			200,000	200,000	200,000	200,000
- Rollback .75% Places For Eating Tax			(250,000)	(250,000)	(250,000)	(250,000)
- Property Tax Freeze: 2015 levy (received FY 2016-17)			0	(165,000)	(170,000)	(175,000)
<u>Expenditure Options</u>						
- 5 ml bonds for sewer mitigation funded by NHR sales tax			(335,000)	(335,000)	(335,000)	(335,000)
- 6 ml bonds for sewer mitigation funded by Utility/Simplified ta			(400,000)	(400,000)	(400,000)	(400,000)
- <u>3 ml bonds for sewer mitigation funded by Sewer revenue</u>			(200,000)	(200,000)	(200,000)	(200,000)
14 ml bonds sewer improvements (12.5 ml-50th St Sewer; 1.0 ml-flood wall; 500k-sewer lining)						
- Public Safety Staffing			(100,000)	(100,000)	(100,000)	(100,000)
- Economic Development			(50,000)	(50,000)	(50,000)	(50,000)
Net Increase/(Decrease) in Total Revenue	0	0	15,000	0	(5,000)	(10,000)

<u>Referenda Budget</u>	Actual 2013-14	Budget 2014-15	Budget 2015-16	Budget 2016-17	Budget 2017-18	Budget 2018-19
Revenues	13,052,689	13,720,567	14,037,604	14,383,311	14,803,095	15,234,884
Rev/Exp Surplus/(Deficit)	0	0	15,000	0	(5,000)	(10,000)
Expenditures	(13,481,679)	(13,474,648)	(13,843,839)	(14,256,014)	(14,739,337)	(15,261,563)
Revised Surplus/(Deficit)	(428,990)	245,919	208,765	127,297	58,758	(36,679)
Fund Balance	6,716,225	6,962,144	7,170,909	7,298,206	7,356,964	7,320,285
% Of Annual Exp.	49.82%	51.67%	51.80%	51.19%	49.91%	47.97%

VILLAGE OF LA GRANGE

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING AND DIRECTING THE SUBMISSION
TO THE ELECTORS OF THE VILLAGE
AT THE CONSOLIDATED ELECTION ON APRIL 7, 2015
THE QUESTION WHETHER THE VILLAGE MAY IMPOSE
A 0.75 PERCENT INCREASE ON THE VILLAGE'S
MUNICIPAL RETAILERS' OCCUPATION TAX
AND MUNICIPAL SERVICE OCCUPATION TAX

WHEREAS, the Village of La Grange, an Illinois municipal corporation, (the "Village") is authorized by Article 8, Division 11 of the Illinois Municipal Code, 65 ILCS 5/8-11, to impose a tax on all persons engaged in the business of selling tangible personal property, other than on an item of tangible personal property which is titled and registered by an agency of State government, at retail within the Village for expenditure on public infrastructure or for property tax relief or both as defined in 65 ILCS 5/8-11-1.2 or for municipal operations, if approved by referendum as provided in 65 ILCS 5/8-11-1.1, of the gross receipts from such sales made in the course of such business (a "*Non-Home Rule Municipal Retailers' Occupation Tax*"); and

WHEREAS, the Village of La Grange also is authorized by Article 8, Division 11 of the Illinois Municipal Code, 65 ILCS 5/8-11, to impose a tax on all persons engaged, within the Village, in the business of making sales of service for expenditure on public infrastructure operations or for property tax relief or both as defined in 65 ILCS 5/8-11-1.2 or for municipal operations, if approved by referendum as provided in 65 ILCS 5/8-11-1.1, of the selling price of all tangible personal property transferred by such servicemen either in the form of tangible personal property or in the form of real estate as an incident to a sale of service (a "*Non-Home Rule Municipal Service Occupation Tax*"); and

WHEREAS, the Village may by this Ordinance call for the submission to the electors of the Village the question whether the Village may increase such taxes; and

WHEREAS, the President and Board of Trustees, after thorough consideration of the facts and circumstances, have determined that it would be in the best interests of the Village, its residents, and its business community (a) to impose such taxes in the amount of one percent, which is for each tax a 0.75 percent increase over the existing 0.25 percent taxes, and, therefore, (b) to authorize and direct the submission of the question whether the Village should be authorized to impose an increase in such taxes to the electors of the Village;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of La Grange, Cook County and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are incorporated herein as findings and determinations of the President and Board of Trustees.

Section 2. Submission of Question. The President and Board of Trustees hereby authorize and direct the submission to the electors of the Village the question of whether the Village shall impose a one percent Non-Home Rule Municipal Retailers' Occupation Tax and a one percent Non-Home Rule Municipal Service Occupation Tax, in the following form:

Shall the Village of La Grange be authorized to impose an increase of 0.75% to the rate of the existing 0.25% municipal retailers' occupation tax and municipal service occupation tax for expenditure on public infrastructure or for property tax relief or both?	Yes	
	No	

Section 3. Certification of Question by Village Clerk. The Village Clerk is hereby authorized and directed to certify, not less than 68 days or other time period established by law prior to the date of the election, a copy of this Ordinance and the question stated herein to the proper election authority in accordance with Section 8-11-1.1 of the Illinois Municipal Code, 65 ILCS 5/8-11-1.1, and Section 28-5 of the Illinois Election Code, 10 ILCS 5/28-5, in order that the proposition set forth herein may be submitted to the electors of the Village at the election.

Section 4. Manner of Ballot and Election. The ballot shall be prepared by the election authority in accordance with the general election law, including Articles 24, 24A, 24B, and 24C of the Illinois Election Code and any other applicable law, and the election shall be held and conducted and the returns thereof duly canvassed also in the manner and time as provided by the Illinois Election Code and any other applicable law.

Section 5. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 20__.

AYES: _____

NAYS: _____

ABSTAIN: _____

APPROVED this ____ day of _____ 20__.

Thomas Livingston, Village President

ATTEST:

John Burns, Village Clerk