

Village of La Grange

AGENDA

PLAN COMMISSION
of the
VILLAGE OF LA GRANGE

Village Hall Auditorium

53 S. La Grange Road, La Grange, IL

Tuesday, February 9, 2016 - 7:30 p.m.



1. Call to Order and Roll Call of the Plan Commission
2. Approval of Minutes – November 10, 2015
3. Business at Hand:
4. New Business:

PLAN COMMISSION CASE #227 – Planned Development, Special Use, Design Review Permit, Site Plan Approval and Amendment to Zoning Map from OS Open Space to R-8 Multiple Family Residential to construct an assisted living community at 35 Shawmut, Pathway Development Partners, LLC.

5. Adjournment

(Commissioners: Please call 579-2320 to confirm your attendance.)

Individuals with disabilities and who require certain accommodations to participate at this meeting are requested to contact the ADA Coordinator at 579-2315, to allow the Village to make reasonable accommodations.

MINUTES

Plan Commission of the
Village of La Grange
November 10, 2015

I. CALL TO ORDER AND ROLL CALL:

Chairman Kardatzke called the meeting to order on November 10, 2015, at 7:30 p.m. in the Village Hall Auditorium, 53 S. La Grange road, La Grange, IL.

Present: Commissioners Egan, Paice, Reich, Schwartz, Stewart, and Weyrauch, with Chairman Kardatzke presiding.

Absent: None.

Also Present: Village Trustee Liaison Mark Langan, Village Clerk John Burns, and Assistant Community Development Director Angela M. Mesaros, and Village Consulting Engineer Tom Heuer.

II. APPROVAL OF MINUTES:

The Minutes of the September 8 and October 27, 2015, Plan Commission meetings were presented for approval. It was moved by Commissioner Reich and seconded by Commissioner Paice that the Minutes be approved. Motion to APPROVE carried unanimously by voice vote.

III. BUSINESS AT HAND:

RESUBDIVISION CASE #164, 638 S. Edgewood Weekley Homes, LLC.

Chairman Kardatzke swore in Mike Creed, Director of Operations for David Weekley Homes. Edgewood Weekley Homes has 21 locations throughout the United States. They purchased property at 638 Edgewood Lane. It is 106 feet wide by 154 feet deep. They request to subdivide it into equal lots, where they want to build new homes. The engineer is Mackey Consultants from Rosemont. The architect is Matt Janz from Northbrook.

Chairman Kardatzke solicited questions from Commissioners:

- Commissioner Egan asked about the widths of other lots in that vicinity. Answer: The presenter didn't have dimensions of the adjacent properties. His drawing is scaled, but doesn't show dimensions.
- Chairman Kardatzke asked what structures are there now. Answer: It is a large ranch house in disrepair.

- Commissioner Paice asked if a notice went out to the neighbors. Answer: Angela Mesaros responded that a notice to the neighbors is not required.
- Commissioner Weyrauch asked if there are any existing trees that they are going to save. Answer: On the north lot there are no trees they are taking down. On the south lot there appears to be one where the driveway would be.
- Commissioner Weyrauch asked about the maximum lot coverage. Answer: maximum lot coverage is 45% with allowances.
- There were no questions from the Audience.
- Commissioner Weyrauch is familiar with the property. She remarked it has been vacant for a while, and she welcomes the change.

A motion was made by Commissioner Reich, seconded by Commissioner Schwartz that the Plan Commission recommend to the Village Board of Trustees Approval of the application to re-subdivide the lot at 638 S. Edgewood as proposed by Resubdivision Case #164.

Motion to APPROVE Carried by a roll call vote (7/0/0):

AYE: Egan, Paice, Reich, Schwartz, Stewart, Weyrauch, and Chairman Kardatzke
NAY: None
ABSENT: None

PLAN COMMISSION CASE #226 - Special Use Application and Site plan Approval to construct a new Parish Center at St. Cletus, 600 W. 55th Street.

Chairman Kardatzke swore in Andy Hineman, Matt Hichens, architect, from Kimley Horn. They presented an overview with diagrams of the proposed new parish center at St. Cletus, including its location on a map and its footprint in relation to the school. The area is bounded by 55th Street on the south and 54th Street on the north, and Spring and Stone to the east and west.

Commissioners asked questions related to school drop-off and pick-up, visibility of the main entrance to the school, connections between the buildings, MWRD permits, permeable pavers, parking spaces, gymnasium and offices.

There being no further questions or comments from the audience or Commissioners, a motion was made by Commissioner Stewart, seconded by Commissioner Reich that the Plan Commission recommend to the Village Board of Trustees Approval of the special use application and site plan—approval to construct the new parish center with recommendations from staff on page 7 of the Staff Report dated November 10, 2015, with an additional condition that the applicant provide a construction staging plan.

Motion to APPROVE Carried by a roll call vote (5/2/0)

AYE: Egan, Paice, Reich, Schwartz, and Stewart
NAY: Weyrauch and Chairman Kardatzke
ABSENT: None

IV. OLD BUSINESS:

None.

V. NEW BUSINESS:

None.

VI. ADJOURNMENT:

There being no further questions or comments from the audience or Commissioners, a motion to adjourn was made by Commissioner Reich, seconded by Commissioner Weyrauch. Motion carried by voice vote. The meeting adjourned at 8:34 p.m.

Respectfully Submitted:

Angela Mesaros, Assistant Community Development Director

STAFF REPORT

PC Case #227

TO: Plan Commission

FROM: Patrick D. Benjamin, Community Development Director
Angela M. Mesaros, AICP, Assistant Director, Community Development

DATE: February 9, 2016

RE: ZONING MAP AMENDMENT, PLANNED DEVELOPMENT, SPECIAL USE, SITE PLANS AND DESIGN REVIEW TO AUTHORIZE ASSISTED LIVING FACILITY, Aspired Living of La Grange, 35 Shawmut, Pathway Development Partners, LLC.

I. BACKGROUND

Pathway Development Partners is the contract purchaser of a 2.82 acre northwest portion of Gordon Park currently used as passive parkland. Pathways proposes to develop the subject property with an assisted living and memory care facility. The applicant has engaged Opus Development Group, who is the developer of Uptown La Grange, the site of the former Richport YMCA directly to the south of the subject property, as design/build contractor.

The proposal includes a one-story memory care facility – the building would be “donut” shaped with an internal courtyard, attached to a five-story L shaped assisted living facility. Combined the two buildings would consist of 116 total units – 32 units (25%) in the memory care facility and 84 units (75%) in the assisted living building.

As provided in our Zoning Code, Pathways participated in pre-application meetings held in December 2014, and December 2015, which included at various times: Village President Livingston, Trustees Kotynek, Holder, McCarty, Village Clerk Burns, Plan Commission Chairperson Kardatzke and Plan Commissioner Paice, former Plan Commissioner Williams, the Village management team and Village Planner. These meetings involved discussions about site circulation, vehicular and pedestrian access, emergency vehicle access, public improvements and offsetting amenities, pedestrian safety, connections to Gordon Park, and resulted in revisions to the site plan and design of the building.

Participants at the meetings generally found the overall concept of the plan to be acceptable. Recommendations included improvements to vehicular and pedestrian circulation as well as connections to Gordon Park, directly to the east, pedestrian safety/movements from the parking lot to the proposed Aspired Living facility.

As you are aware, one of the planned development criteria is the requirement that the applicant provide compensating amenities for the relief being sought. In order to move forward with the application, Pathways requested a list of Staff's thoughts on potential required public improvements, including cost estimates. In response, in several meetings (which included the Village Manager, Community Development Director and Assistant Community Development Director/Village Planner), Village Staff presented specific public improvements and estimated costs of such improvements.

The recommended compensating amenities were similar in scope to previous approved Planned Development projects. They included but were not limited to: costs of projected police and fire services, replacement of combination water main within Shawmut Avenue corridor, reconstruction of Shawmut, burial of all utilities, installation of streetscape amenities, and monetary contribution towards OARS. Staff is comfortable with the list of improvements agreed upon by Pathways, as outlined on page 9 of the Executive Summary of the attached Application submittal.

II. APPLICATIONS

After staff evaluation of the Application, we determined that it is necessary that the plans be approved as a Large Planned Development, because the total land area is more than 40,000 square feet and the plan requires relief from several provisions of the Code as outlined in Section 3 of this report.

In order to construct the proposed development the applicant has submitted the following applications:

1. Zoning Map Amendment
2. Large Planned Development
3. Special Use Permit
4. Final Site Plan Approval
5. Design Review

1. MAP AMENDMENT

Pathways has filed an application with the Community Development Department for a Zoning Map Amendment to reclassify the property located at 35 Shawmut from its current classification as OS Open Space to the R-8 Multiple Family Residential District. In 2007, this property was approved for reclassification into the C-3 commercial district to construct 26 townhouses as part of development of the former Richport YMCA property proposed by Atlantic Realty Partners. The property reverted back to OS Open Space zoning when the approved project was not developed.

Staff and the Village Attorney discussed the appropriate classification for the proposed assisted living facility. We determined that R-8 Multiple Family Residential was more in keeping with the Village's vision for the future of this area than the IB Institutional Buildings District. The IB district is an alternative option as this district also authorizes nursing care facilities as a special use. The R-8 district provides special modifications for this type of use and additional flexibility in Planned Development standards.

AMENDMENT CRITERIA:

In reviewing the request for Zoning Map Amendment, be guided by the principles stated in Section 14-605 of the Zoning Code: “...*the power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment be made. In determining whether the principle is satisfied in any particular case...weigh the data required in 14-101E and among other factors, the following standards:*”

1. *The consistency of the proposed amendment with the purposes of this Code.*

One of the key purposes of the Zoning Code according to Section 1-102, is to “*implement and foster the goals and policies of the Village's Official Comprehensive Plan.*” Diversity of housing options is one of the goals of the Comprehensive Plan.

Another purpose of the Zoning Code is to “*encourage and enhance the preservation of natural resources, aesthetic amenities, and natural features.*” Reclassification of this property would allow the replacement of an established green space with mature trees by the construction of an assisted living and memory care facility. According to the Park District, the sale (potentially development) of this small “underutilized” parcel has been part of the Park District Master Plan for the past 5 years.

The subject property is located within the Burlington Northern Santa Fe (BNSF) Sub Area of the *Comprehensive Plan*, which “*reinforces the role of Downtown La Grange as the community's mixed-use center.*” Among the principles related to density, design and diversity are the following:

- *Varied housing types should be located within walking distance to transit facilities;*
- *Encourage higher housing densities within one-quarter mile or 5 minute walk of [Metra] station areas;*
- *Maintain and emphasize pedestrian and bicycle improvements and access; and*
- *Extend a pedestrian-oriented streetscape to all BNSF Railroad Corridor streets.*

2. *The community need for the proposed amendment and for the uses and development it would allow.*

As stated by the Appellate Court in confirming the authority of the Park District to sell this parcel, “the revenue generated will allow the Park District to enhance services to the public and improve public facilities by providing amenities the public wants.”

According to the market feasibility analysis submitted by Pathways (Section 12 of the application packet) there “appears to be sufficient size and depth of the age and income qualified market” to support new assisted living and memory care units in the La Grange area. In addition, the applicant states that approximately 490 seniors are in need of assisted living services in the immediate area and another 314 seniors are in need of Alzheimer’s care not currently cared for in an assisted living community.

3. *If a specific parcel is the subject, then the following factors should be considered:*
 - a. *The existing uses and zoning classifications for properties in the vicinity of the subject property.*
 - b. *The trend of development in the vicinity of the subject property, including changes, if any, in such trend since the subject property was placed in its present zoning classification.*
 - c. *The extent, if any, to which any diminution in value is offset by an increase in public health safety and welfare.*
 - d. *The extent to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.*
 - e. *The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.*
 - f. *The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.*
 - g. *The suitability of the subject property for uses permitted or permissible under its present zoning classification.*
 - h. *The availability, where relevant, of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.*

- i. *The availability, where relevant, of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under its present zoning classification.*
- j. *The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.*

In the vicinity of the proposed development are a ten story condominium building to the east zoned R-8 multiple family residential; a 254-unit apartment development currently under construction by Opus Development Group directly to the south zoned C-3 commercial; single story service and retail uses zoned C-3 to the south and west; Gordon Park to the east, zoned Open Space; and a seven story, 78 unit condominium building zoned R-8 multiple family to the southeast across Ogden Avenue.

The subject property is currently located in the OS Open Space District. As zoned for open space, this property is limited in permitted uses. This site could not be redeveloped as residential and would have to remain as park or recreation use.

RECOMMENDATION:

If the Commissioners find that the proposed development meets the standards for an amendment to the zoning map, Staff suggests that the Plan Commission recommend to the Village Board of Trustees **approval of the Zoning Map amendment to reclassify the property located at 35 Shawmut from its current classification of OS Open Space District to the R-8 Multiple Family Residential District.** In addition, a second motion would be necessary to recommend to the Village Board of Trustees approval of **an amendment to Figure 2, Long Range Land Use Plan of the Official Comprehensive Plan to identify the property as high density residential.**

2. PLANNED DEVELOPMENT

Pathways has filed an application for a Large Planned Development Approval with the Community Development Department. Upon our review of the application as submitted, the applicant will need modifications from the following zoning requirements:

- Height
- Yards: Front & Rear Yard
- Maximum Building Coverage
- Maximum Lot Coverage
- Minimum Dwelling Unit Size

A Planned Development is a distinct category of Special Use and has the same general purposes of all special uses. According to Section 14-502 of the Zoning Code, *“Within a planned development, the traditional use, bulk, space, and yard regulations may be*

relaxed if they impose inappropriate limitations on the proposed development or redevelopment of a parcel of land that lends itself to an individual, planned approach.” Among those objectives that the Village seeks to achieve through the flexibility of the planned development technique are the following:

- *Encouragement of flexibility in the development or redevelopment of land.*
- *Creation of an appreciably more desirable environment than would be possible through strict application of Village land use regulations, whether through maximization of open space, or excellence in building and site design, or provision of amenities not possible under the otherwise applicable requirements.*
- *Promotion of creative architectural and site designs and resulting development.*
- *Promotion of quality, useful open space and recreational opportunities.*
- *Promotion of environmentally sound development practices.*
- *Facilitation of development in harmony with the Comprehensive Plan.*
- *Promotion of public health, safety, and welfare.*

A Planned Development consists of a development concept to provide a basic scope of the character and nature of the development and a final plan, which serves to implement, particularize and define the Development Concept Plan. As allowed by Code, Pathways has chosen to submit the two phases concurrently.

SPECIAL USE STANDARDS:

No special use permit for a Planned Development may be recommended or granted unless the applicant establishes that the proposed development will meet each of the standards made applicable pursuant to Subsection 14-401E of the Zoning Code:

- (a) Code and Plan Purposes
- (b) No Undue Adverse Impact
- (c) No Interference with Surrounding Development
- (d) Adequate Public Facilities
- (e) No Traffic Congestion
- (f) No Destruction of Significant Features
- (g) Compliance with Standards

- (a) Code and Plan Purposes. *The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.*

According to the Zoning Code, the R-8 Multiple Family Residential District is intended to provide areas for development at the highest residential density appropriate in the Village's suburban setting. The applicant has applied to construct a market-rate, rental Assisted Living community. This requires a special use permit.

The “Vision for La Grange” as established in the *Comprehensive Plan* asserts that La Grange will remain a community with diverse housing. According to the applicant's residential market analysis submitted with the application (Section 12), the market potential for Aspired Living of La Grange “appears to be sufficient size and depth of age and income.”

- (b) No Undue Adverse Impact. *The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.*

The subject property is bounded by high density residential on three sides – to the north, south and west and Gordon Park to the east. The proposed development would redevelop a parcel of parkland, which according to the applicant is underutilized and due to the steep slope inappropriate for park activities, into an assisted living community.

- (c) No Interference with Surrounding Development. *The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.*

According to the applicant, this project will contribute positively to the surrounding area with pedestrian scaled detailing, walkways and linkages to Gordon Park. The scale of the proposed building is also consistent with Uptown La Grange to the south, La Grange Towers to the west and the Plymouth Place redevelopment in La Grange Park to the north.

- (d) Adequate Public Facilities. *The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.*

As proposed, an underground storm water vault would be under the parking lot. A consulting engineer, Baxter Woodman, who works with the Public Works Department, has provided the attached review of preliminary engineering and storm water plans.

As part of the required compensating amenities, the applicant has agreed to contribute funds for additional Police and Fire services. At the request of the Fire Department, the proposed development will provide an ambulance entrance and private refuse service in the back.

As this is a senior living community, we anticipate no impact on schools and limited impact on the library and park resources

Further Kane, McKenna and Associates, Inc., a financial analysis firm utilized by many Chicago area municipalities, has reviewed and analyzed the application. See Section 13 of the Applicant's submittal packet, titled, "Fiscal Impact and Revenue Analysis," which provides fiscal impact of the proposed project. In short, they are projecting annual surplus of \$75,446 to the Village.

It is anticipated that with the public improvements agreed upon by the applicant, the site will be adequately served and that offsetting revenues will provide for services.

- (e) *No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets*

According to the traffic impact study submitted by the applicant and prepared by KLOA, "the proposed development will have a low traffic impact on the surrounding network given the low volume of traffic it is projected to generate." The KLOA traffic analysis further states that no roadway or traffic control improvements are recommended or needed. In conjunction with this project, Shawmut Avenue will be extended east along the site's frontage to the south of the facility, provide access to the building's porte-cochere and serve the proposed surface parking lot on the south side of Shawmut. According to the KLOA report, this access drive will be adequate to serve the parking lot.

- (f) *No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.*

The proposed project is the development of a passive park located in between large apartment buildings that, according to the Park District, is underutilized.

- (g) *Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing*

The applicant seeks relief from several areas of the Code as outlined below.

CONSIDERATIONS

In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider:

- (a) *Public Benefit. Whether and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.*
- (b) *Alternative Locations. Whether and to what extent, such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.*
- (c) *Mitigation of Adverse Impacts. Whether and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.*

Staff contacted two representatives from Plymouth Place (directly to the north) and a representative from La Grange Towners (directly to the east) with information on this project. In addition, the applicant has presented the concept to area neighbors in more than one forum. According to the applicant, the primary concerns among neighbors at La Grange Towers was the open space agreement from the previous approval and use of Shawmut Avenue extension. Pathways stated that they may consider a green area on a portion of the roof to compensate.

ADDITIONAL STANDARDS FOR PLANNED DEVELOPMENTS

A Planned Development must meet each of the following standards in addition to the special use standards:

1. Unified Ownership Required. The applicant is the contract purchaser and plans to develop the property under unified ownership.
2. Covenants and Restrictions to be Enforceable by the Village. The record should state that the Conditions, Covenants and Restrictions for the subject property not be removed or released without the expressed written consent of the Village Board of Trustees. A copy of the Covenants and Restrictions will need to be prepared for Village Attorney review prior to the Village Board consideration. In addition, the Park District will provide a public access easement to the Shawmut Avenue extension and an easement for public utilities in the Shawmut Avenue extension.

3. Protected Open Space. *Except under extraordinary circumstances determined as sufficient by the Board of Trustees, the planned development must include protected open space commensurate with the scale and design of the development. The protected open space must be held in common ownership or by an entity specifically responsible for the care and maintenance of the space. The protected open space also must be (i) held for use by all residents or other occupants of the development or (ii) dedicated to, and accepted by, the Village of La Grange, the Park District of La Grange, a school district, or another public entity as permanent common open areas for parks, recreation and/or related public uses.*

Protected Open Space is defined in the Zoning Code to mean “parks, playgrounds, landscaped green space, community centers, or other similar areas and associated recreational amenities held and protected permanently as open space.” The applicant proposes to improve a portion of the subject property with two courtyards and to add a landscape feature on the eastern extension of Shawmut that will allow public, pedestrian access to Gordon Park. In addition, the project is directly adjacent to a 17-acre public park (the largest open space in La Grange) that the residents will be able to utilize.

4. Landscaping and Perimeter Treatment. *Any area of a planned development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening, or natural or man-made buffers.*
5. Streets. The proposed development would extend vacated Shawmut Avenue – owned by the Park District. This access road will be leased and maintained by Pathways. This street will need to comply with the Village standards.
6. Pedestrian Circulation System. The applicant proposes to create a walkway connection along both the north and south sides of the Shawmut Avenue extension from La Grange Road to Gordon Park. This will provide a pedestrian safe zone of street plantings, open space and walkways, which will connect the development to Gordon Park. Staff recommends that the pedestrian path to Gordon Park be continued into the park, and connected to an existing pedestrian path or sidewalk.
7. Utilities. The applicant agrees to bury all onsite overhead utility lines underground.
8. Compensating Amenities. *The planned development must include compensating amenities, if the applicant seeks a modification of any provision of this Code or the La Grange Subdivision Ordinance.*

Compensating amenities means features not otherwise required to achieve compliance with the standards of this Code or other applicable Village codes and ordinances, including such things as public art, plazas, pedestrian walkways, natural habitats,

increased landscaping, buffering or screening, enhanced streetscape, enhanced pedestrian and transit supportive design, underground parking and similar features. Compensating amenities must be proposed as part of a PD application, and all compensating amenities, whether public or private, must be developed and constructed at the applicant's expense.

Below is a list of compensating amenities proposed by the Village and agreed upon by the applicant. Additional details are provided in the Executive Summary of the applicant's submittal.

Off-Site Compensating Amenities:

- Operational Impacts:
 - Funds for additional emergency services – the cost of projected fire services, including personnel costs, operational cost of \$10,000 per year for a period of 12 consecutive years - \$120,000.
 - Contribution to replacement ambulance - \$50,000
 - Cost of projected police services - \$4,500/year for 20 years - \$90,000
- Infrastructure Impacts:
 - Replace existing combination 8”/12” water main with 12” water main within Shawmut Avenue Corridor
- Development-driven Requirements and Public Contribution:
 - Reconstruction of Shawmut Avenue
 - Burial of overhead utility lines
 - Installation of streetscape amenities
 - Payment in lieu of taxes
 - Covenant-owner to maintain facility
 - Monetary contribution of \$200,000 towards the Ogden Avenue Relief Sewer (OARS)
 - Sidewalk connectivity
 - Staff has also requested Village approval of change in ownership. According to the applicant, change in the Operator is of more concern than the financial sale from one investor to another. The Operator is important to the functioning of the property and it is more difficult to replace a property manager. This project, specifically, will be license by the State of Illinois and has strict operational standards and oversight. (Attached is a letter from the applicant's attorney which outlines the State's requirements – Exhibit A). Staff is re-examining this issue and suggests further discussion of this item at your meeting.

3. SITE PLAN APPROVAL

BULK, YARD AND SPACE REQUIREMENTS

The following table is a comparison of the applicable bulk, yard, and space requirements for the R-8 Multiple Family District, current zoning (OS Open Space), alternative IB district and the proposed development.

PC #227 - Aspired Living of La Grange
Pathways Senior Living
Zoning Analysis - February 2016

	Proposal*	Open Space (Current Classification)	IB Institutional Buildings (Alternative)	R-8 Multiple Family Residential (Proposed Re-zoning)**
Use	Nursing and Personal Care Facility (805) Assisted Living - 84 units Memory Care - 32 units	Nursing and Personal Care Facility (805)- NOT permitted	Nursing and Personal Care Facility (805) - Special Use; Residential Uses permitted with special standards only	Nursing and Personal Care Facility (805) - Special Use; Residences - permitted
Height	61 feet, 5 stories 72 feet, 5 stories	35 ft.	45 ft.	45 ft, 3 stories (adjustment for PD up to 90 feet, 7 stories)
Minimum Lot Area	122,972 sq. ft.	15,000 sq. ft.	15,000 sq. ft.	15,000 sq. ft. (PD)
Minimum Lot Width	397 ft. avg.	100 ft.	100 ft.	50 ft.
Minimum Lot Area Per Bed	128 beds, 960.7 s.f/unit	N/A	N/A	600 sq. ft./bed
Front Yard	0 ft. (approx.)	35 ft.	15 ft.	37 ft. (60% of building height)
Side Yards	32 ft. 8 inches	20 ft.	15 ft.	18.375 ft. (10% of lot width)
Rear Yard	31 ft.	20 ft.	15 ft.	37.7 feet (20% of lot depth)
Maximum Building Coverage	35.40%	N/A	N/A	35%
Maximum Lot Coverage	74%	N/A	N/A	60%
Maximum FAR	0.927	0.25	0.45	N/A
Minimum Dwelling Unit Size	1 BR/Efficiency - 356 sq. ft. 2 BR - 850 sq. ft.	N/A	N/A	1 BR/Efficiency - min. 650 sq. ft. 2 BR - 951 sq. ft.
Onsite Parking Spaces	66 spaces	1 for every 3 beds + 1 per employee = 128/3 = 43 + 23 = Min 66 spaces	1 for every 3 beds + 1 per employee = 128/3 = 43 + 23 = Min 66 spaces	Minimum 66 spaces
Onsite Loading Spaces	2 spaces	1 space	1 space	1 space
Perimeter Landscaped Open Space	5 feet	N/A	N/A	N/A

* Items in red require modification from the Zoning Code (under Planned Development).

** Zoning Analysis assumes reclassification into R-8 multiple family residential district.

AUTHORITY TO MODIFY REGULATIONS

Subject to the standards and limitations in this Section, the Board of Trustees, as part of an approval of any planned development, may modify any provision of this Code or of the La Grange Subdivision Ordinance as they apply to an approved planned development, subject to the limitations in the Zoning Code.

No modification may be approved unless the Board of Trustees shall find that the proposed planned development:

- 1. Will achieve the purposes for which planned developments may be approved pursuant to Section 14-502;*
- 2. Will not violate the general purposes, goals, and objectives of this Code and the Official Comprehensive Plan; and*
- 3. Will result in a development providing compensating amenities to the Village. Compensating amenities, including such things as public art, plazas, pedestrian walkways, natural habitats, increased landscaping, buffering or screening, enhanced streetscape, enhanced pedestrian and transit supportive design, underground parking and similar features. Compensating amenities must be proposed as part of a PD application, and all compensating amenities, whether public or private, must be developed and constructed at the applicant's expense.*
- 4. Subject to the standards set forth in this paragraph, a compensating amenity may be in the form of a cash contribution.*

MODIFICATIONS REQUESTED

Pathway's Site Plan, as proposed, would require modifications from the following zoning regulations:

(1) Height

In the R-8 Multiple Family Residential District in which the subject property is located, the maximum height is 45 ft., 3 stories. Pathways has proposed a height of 61 feet with 72 feet at its highest point, and 5 stories. According to Paragraph 4-110H2 of the Zoning Code, Height Adjustments in R- Planned Developments, "maximum allowable height may be increased to the greater of seven stories or 90 feet in any R-8 District located north of Hillgrove Avenue and east of La Grange Road." The proposed height does not exceed the authorized limits of the Zoning Code for a Planned Development.

Standards of excellence of design for modification from height are established in the R-8 Multiple Family Residential District. In determining whether such excellence has been shown, special consideration shall be given to the following factors:

- (a) *the amount of usable open space; and*
- (b) *the extent of land dedication for public building sites and open space; and*
- (c) *the quality and extent of landscaping, including special elements such as water features and public art; and*
- (d) *the quality and extent of recreational facilities such as swimming pools, tennis courts, playgrounds, and other residential recreational facilities; bicycle, hiking, and jogging trails; and community centers; and*
- (e) *the quality of design of vehicular circulation elements and parking lots and areas; and*
- (f) *the care taken to maximize energy conservation in site design, building design, and building systems; and*
- (g) *the quality of roof design and finishes in terms of consistency with an attractive residential setting and the avoidance of flat roofs.*

Staff believes that the proposed increase in height as allowed by the Zoning Code would be appropriate given the context of the area.

(2) Required Yards

The applicant seeks relief from the required front and rear yards.

- *Front Yard (south):* In the R-8 Multiple Family Residential District, in which the property is located, the requirement for front yards is 60% of the building height, 37 feet (61 ft. x 0.60 = 36.6 ft.) The applicant have proposed approximately zero feet front yard, which would not meet the zoning requirements. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

The applicant has an easement to use the property immediately to the south as additional open space and will add a landscape feature on the eastern extension of Shawmut Avenue for public pedestrian access to Gordon Park.

- *Rear Yard (north):* The requirement for rear yards in the R-8 district is 20% of the lot depth, 37.7 feet (130.45ft. x 0.20 = 37.7 ft.) The applicant proposes a yard of 31 ft. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

The building is designed to be somewhat spread out due to the need for memory care units to be on the ground floor with access to outdoor courtyard space and the need to have the kitchen on the same level.

(3) Building Coverage

Maximum Building Coverage for this lot is 35% or 43,040 square feet. Aspired Living, to achieve the design that is desired, proposes a building coverage of slightly over the maximum allowable of 35.4% or 43,500 square feet. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

(4) Lot Coverage

The applicant has applied for relief from “lot coverage.” Subsection 14-508D of the Zoning Code, allows total lot coverage in planned developments up to 75% percent. Maximum Total Lot Coverage, which includes all buildings, structures and impervious surfaces in the R-8 district, is 60% or 73,783 square feet. Proposed lot coverage is 91,000 square feet or 74%. The requested modification falls within the authorized limits of the Zoning Code for a Planned Development.

The requested increase is consistent with other planned developments approved in the Village over the last 15 years. (Note that the project would require compliance with the newly revised site design standards and site grading and drainage review by the Village Engineer prior to issuance of a building permit.)

(5) Minimum Dwelling Unit Size.

The applicant proposes a minimum dwelling unit size of 356 square feet for the studio/efficiency units (about 5% of the total units). In the R-8 district, the minimum unit size for an efficiency is 650 square feet. According to the applicant, the proposed modification in unit size is consistent with the market for efficiency apartments. They have submitted data that supports the standard sizes for assisted living and memory care units (See attached “Design for Assisted Living” guidelines and email from Bob Helle explaining the unit sizes – Exhibit B.) Staff has reviewed the data and finds that the proposed unit size is consistent with industry standards. In addition, Staff has found that the unit size complies with the Building and Property Maintenance Codes that the Village follows.

(6) Perimeter Landscaped Open Space

The applicant has requested a modification from “Perimeter Landscape Open Space” provisions. However, staff has found that this regulation would not apply to this proposal. Therefore, no modification is necessary.

4. DESIGN REVIEW

In any case where a Design Review Permit is required in conjunction with the issuance of a Planned Development, the application for design review shall be heard by the Plan Commission at the same time such approval is heard. The Plan Commission shall make its recommendation to the Village Board of Trustees as provided in Paragraph 14-403D6.

STANDARDS AND CONSIDERATIONS FOR DESIGN REVIEW PERMIT.

In acting upon applications for Design Review Permits, the Plan Commission and the Board of Trustees shall consider and evaluate the propriety of issuing the Design Review Permit in terms of its effect on the purposes for which the Design Review District is designated. In addition, the Commission and the Board of Trustees shall be guided by the following standards and considerations:

1. Visual Compatibility.

- (a) Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.*
- (b) Proportion of Front Facade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.*
- (c) Proportion of Openings. The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.*
- (d) Rhythm of Solids to Voids in Front Facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.*
- (e) Rhythm of Spacing and Buildings on Streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.*
- (f) Rhythm of Entrance Porch and Other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.*
- (g) Relationship of Materials, Texture, and Color. The relationship of the materials, texture, and color of the facade shall be visually compatible with the predominant materials used in the buildings and structures to which it is visually related.*

- (h) Roof Shapes. *The roof shape of a building shall be visually compatible with the buildings to which it is visually related.*
- (i) Walls of Continuity. *Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.*
- (j) Scale of Building. *The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.*
- (k) Directional Expression of Front Elevation. *A building shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.*

2. Quality and Design Site Development

- (a) Open Spaces. *The quality of the open spaces between buildings and in setback spaces between street and facade.*
- (b) Materials. *The quality of materials and their relationship to those in existing adjacent structures.*
- (c) General Design. *The quality of the design in general and its relationship to the overall character of neighborhood.*
- (d) General Site Development. *The quality of the site development in terms of landscaping, recreation, pedestrian access, automobile access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.*

Staff believes that the list of materials on page 2 of the Executive Summary should be given further consideration by the Plan Commission, particularly the use of “stucco” at the attic level. The applicant should provide a material board prior to Village Board approval.

RECOMMENDATION:

At the hearing, the Applicants will present additional information and the public will have an opportunity to comment on the application. If the Plan Commission finds that the standards have been adequately addressed for the relief being sought, Staff recommends that the following be voted upon as a single motion by the Plan Commission. (1) Amendment to the Zoning Map from OS Open Space District to R-8 Multiple Family Residential; (2) Site Plans and Appearance Plans; (3) Special Use Permit; and (4) Planned Development (including development concept plan and final plan) as submitted in Plan Commission Case #227, with the following conditions:

1. Lighting Plans. Location, size and arrangement of all exterior lighting be submitted by the applicants for compliance with the Code prior to issuance of a building permit, including photometrics and all fixtures.
2. Water Main. Replace existing combination 8”/12” water main with 12” water main within Shawmut Avenue corridor, between La Grange Road and Locust Avenue.
3. Streets. Reconstruction of Shawmut Avenue extension to Village standards including appropriately signed and striped crosswalks.
4. As part of the public contribution requirement to obtain relief under a Planned Development, the Applicant provide the following prior to issuance of any building permits:
 - a. Monetary contribution of \$200,000 towards the Ogden Avenue Relief Sewer (OARS).
 - b. Cost of projected fire personnel services - \$10,000/year for 12 years = \$120,000
 - c. Contribution to replacement ambulance - \$50,000
 - d. Cost of projected police services - \$4,500/year for 20 years = \$90,000
5. Sidewalks. All public sidewalks built as part of this Project must meet standard Village specifications and continue. Includes installation of streetscape amenities – pedestrian oriented street lighting, street trees, and sidewalk connectivity. The pedestrian path to Gordon Park must be continued into the park and connected to the existing pedestrian path or sidewalk.
6. Construction Staging Plan. Prior to issuance of a building permit the applicants shall prepare and file with the Village, for review and approval, a construction staging plan including delivery routes, construction parking, and street clean-up.
7. Grading and Stormwater Management plans shall be submitted and approved by the Village Engineer prior to Village Board approval.

8. Final Engineering Plans shall be approved by the Village prior to the issuance of any building permits, with responses and reviews based on comments from Baxter & Woodman preliminary review dated February 4, 2016. (See attached).
9. Underground Utilities. Utility burial plan shall be approved by the Village prior to issuance of any building permits, and the applicant shall bury all on-site utility lines underground.
10. Landscaping Plans. Final landscaping details with a tree preservation plan shall be submitted with the application for building permit approval.
11. Materials. Final building material samples shall be identified fully as to manufacturer, make and model prior to Village Board approval. No deviation from approved materials will be allowed.
12. Screening. Refuse containers must be fully enclosed by an opaque fence, wall or densely planted evergreens of a height to completely screen such containers.
13. Permits. Permits will be needed for outside entities including but not limited to MWRD and IEPA.
14. Soil Borings.
15. Fire Department review of hydrant spacing, location and connections prior to issuance of a building permit.
16. Signage. Final approval of materials and a sign package will be required before permitting and installation.
17. Easement/Dedication of Land. Park District will provide easements for public access to the Shawmut extension and public utilizes within the Shawmut extension.
18. Development Agreement. The applicant must enter into a development agreement with the Village that may include one or more of the following terms, among others:
 - a. Conditions Covenants and Restrictions establishing that owner must maintain facility, including public spaces, common areas, assisted living areas and memory care living spaces; Village has right to enforce covenant; covenant cannot be altered without Village consent
 - b. Payment in lieu of taxes should the property or portion thereof be granted not-for-profit status
 - c. Village approval of change in ownership

8840 W. 192nd Street
Mokena, IL 60448
815.459.1260
708.478.8710
www.baxterwoodman.com
info@baxterwoodman.com



Memo

To: Ryan Gillingham, P.E., Director of Public Works

From: Steve Amann, P.E., CFM

Date: February 4, 2016

Project No.: 160086.80

Subject: Aspired Living of La Grange – Preliminary Engineering Review

We have reviewed the following documents, submitted electronically on January 22:

- Preliminary Engineering plans dated January 8, 2016 prepared by Mackie Consultants, LLC; and
- Preliminary Stormwater Report dated January 8, 2016 prepared by Mackie Consultants, LLC.

We have the following comments:

Overall Submittal

1. The Aspired Living development is proposed to be served by a private east-west roadway extension of Shawmut Avenue that dead ends at Locust Avenue to the east. As designed, the roadway network isolates the proposed facility within this regional development area of the northeast corner of La Grange and Ogden. Depending on the goals for traffic flow for this proposed facility and land development area, consideration should be given to extending Shawmut Avenue to the parking lot on Locust Avenue. Interconnectivity of roadway segments will provide better access to the traffic signal at Locust and Ogden, reducing the potential for left turns from Shawmut to LaGrange Road. With the traffic volumes on LaGrange Road and the nearby signal at Ogden and LaGrange, there will be few gaps for these left turns.

Based on the proposed design, the Traffic Impact Study suggests that vehicles can drive through the parking garage in the Uptown LaGrange building. This would direct through traffic into a private facility. This could create congestion as drivers in parking garages are

looking for open stalls, or maneuvering into and out of the stalls, while other drivers are looking to make the through movement as quickly as possible.

Connecting Shawmut to Locust Avenue will also provide a more efficient sharing of parking between the Locust Avenue lot and the proposed lot south of Shawmut.

2. The development proposes to have the Park District own the private Shawmut roadway extension, and a private entity (Pathways) maintain it. Consideration should be given to having Shawmut Avenue dedicated to the Village as a public road. This will clarify the maintenance and repair responsibilities for this road.
3. We recommend that the existing combined sewer on Shawmut Avenue be televised to determine its current condition, and either removed and replaced, or lined.
4. The site lighting is intended to be privately owned. The developer and owner should be advised that, since these improvements will not be part of the JULIE system, they are more likely to be damaged by excavations in the roadway, regardless of the roadway ownership.

Preliminary Engineering – Sheet 2 – Demolition Plan

5. The Village should consider replacing the parking stalls to be removed from Gordon Park.
6. The demolition along Shawmut Avenue needs to match the plans for Uptown LaGrange.

Sheet 3 – Grading Plan

7. All runoff from the development site (except the minor areas noted in the Stormwater Report) needs to be directed into the Storm Trap detention reservoir. Overland flow routes are the preferred conveyance for the 100-year runoff. If storm sewers will be used for this, the inlet grates need to be designed for sufficient capacity when partially clogged, and considering maximum ponding depths based on the grading plan. Sufficient freeboard needs to be provided in all conveyances to protect the building and to prevent runoff from bypassing the reservoir. This is of particular concern for the westerly courtyard, where the only outlet will be through pipes underneath the building.
8. The height, material and design (including soil reinforcement, upper and lower ground elevations, bedding, drainage and certification by an Illinois-licensed Structural Engineer) is needed for the retaining walls. Where the retaining walls create severe drops adjacent to the driveways or parking lots, guardrail should be considered. Since the north retaining wall appears to be as much as 6 feet high in some areas, the aesthetic elements should be considered (materials, size, etc.) in addition to the engineering.
9. More detailed grading is needed around the building. Foundation steps should be shown, along with adjacent grades. Drainage around the building should be away from the building (this is not done on the east side of the south courtyard), and ponding areas currently shown (e.g., southwest corner) should be eliminated to provide continuous positive slope away from the building.
10. More contours need to be labeled to clarify the existing and proposed drainage patterns.

11. Some ground slopes are as steep as 3 horizontal to 1 vertical (e.g., west of the parking lot). These need to be reduced to safely-mowable slopes (4:1 or less), or planted with ground cover which doesn't need to be mowed.
12. The storm drains and their rim elevations need to be shown on the grading plan.
13. The pedestrian access to Gordon Park needs to comply with ADA requirements.
14. The water levels in the Detention Vault Summary need to match the plans and the Stormwater Report.

Sheet 4 – Utility Plan

15. The Fire Department needs to review the number and location of the proposed fire hydrants.
16. Because of their length, the fire hydrant leads should be 8-inch mains.
17. We do not recommend that utilities be aligned directly under and parallel to the curb/curb and gutter. Trench settlement will lead to failure of the curbing, and make repair more difficult and expensive.
18. The existing clay pipes connecting to the combined sewer need to be investigated. Where they are no longer needed (e.g., draining this site or the Uptown site to the south), they need to be removed and their openings sealed.
19. Additional measures are needed to prevent clogging of the filtering backfill under the Storm Trap reservoir to be used as a volume control measure. Each inlet structure needs to be a catch basin, and proactive measures such as dynamic separators should be employed.
20. The building designers will need to consider the available and needed fire flows to determine the required fire protection systems.
21. The light poles and bollards from the electrical plans need to be shown on this plan, and all conflicts resolved. For example, there are two light poles shown directly over the Storm Trap reservoir.
22. Access to the Storm Trap and ventilation need to be provided.
23. The cleanout structures on the underdrains should be larger in diameter, since they will be 16 feet deep.
24. The use of smaller pipes downstream of the underdrains is not recommended.

Sheet 5 – Paving Plan

25. The sidewalk details indicate thicker concrete through the driveways, but the plan shows asphalt in the crosswalks. This discrepancy needs to be resolved, and all crosswalks need to be appropriately striped and signed.

26. The pedestrian path to Gordon Park needs to be continued into the park, and connected to an existing pedestrian path or sidewalk. If future improvements are planned for this area of the park, a temporary connection should be provided with this current development.
27. Shawmut Avenue needs to have a minimum of 2.5 inches of surface, 3 inches of binder, and 10 inches of aggregate base course.

Stormwater Report

28. Off-site runoff, particularly from the west, needs to be considered in this design.
29. Runoff for the 100-year event needs to be calculated and conveyed to the Storm Trap reservoir.
30. Storm sewer calculations are needed. If storm sewers will be used to convey the 100-year runoff, the grates need to be designed to accommodate these flows with partial clogging, and considering the maximum ponding available.

The following comments can be resolved during final plan preparation, and are included for reference:

31. The drainage certificate on the cover sheet will need to be signed by the Owner or Owner's Attorney as well as the Design Engineer.
32. On the Demolition Plan:
 - a. The removal along the west property line needs to reflect fencing as well as posts;
 - b. Fill per Note 7 needs to be approved by the Village; and
 - c. Select granular backfill in Note 11 needs to be IDOT Gradation CA-7.
33. On the Utility Plan:
 - a. The building storm drains need to be shown, along with the connections for the courtyard drains. Their design will need to be included in the final storm water management calculations.
 - b. Utility crossings will need to provide protection per IEPA requirements. Realignment should be considered to reduce the number of crossings (e.g., the area southeast of the building).
 - c. "Doghouse" construction of new manholes on existing sewers is not allowed.
 - d. Separation of the fire and domestic water services needs to occur inside the building.
 - e. Ductile iron is not recommended for sanitary sewers, as indicated in Note 2.
 - f. Note 5 needs to require IDOT Gradation CA-7 for select granular backfill.

- g. Dry utilities and the exterior lighting improvements need to be shown, and potential conflicts mitigated.
- h. The design of the water main on Shawmut will need to be coordinated with the ongoing improvements by Uptown LaGrange.

34. In the Stormwater Report, the proposed release rate should reflect the correct component values (i.e., 0.87 cfs from the pond and 0.03 unrestricted).

I:\Mokena\LAGRV\160086-Pathways SPR\80-PlanReview\Work\20160204 Preliminary Review 1.docx



W 1/2 NE 1/4 SEC 4-38-12 LYONS

35 Shawmut

No. 2 being a resubdivision of parts of
nd Lots 14 thru 16 and part of Lot 19
ited Shawmut Avenue in Shawmut
nge (See "A") Rec. Mar 14, 2013 Doc.

LAGRANGE, a sub of part of the N
all that part of said N 1/2 lying N of the
& E of the E line of Fifth Ave, except
& all of Blk 7 in Lyman's Add (See "B")
of the N 1/2 of Sec 4-38-12. C.C. Doc
36. Rec. Apr 17, 1895 Doc. 2203386.

RANGE, being a sub. of part of the
g E. of the center line of Fifth Ave. and
Book 22, Page 47. Rec. Jun 21, 1886.

RANGE, being a sub. of the W. 333 ft.
rt of the N.E. 1/4 of Sec. 4-38-12 lying
and N. of Ogden Ave. Book 11, Page

f Sec. 4-38-12 described as follows:
e of Naperville Road at the intersection
Road, then E.'ly on the N. line of
en N.'ly at right angle W. of the road
W. of Naperville Road, 140 ft., then
Road 100.84 ft., then W. 139 ft., then
iso Road 236.74 ft. to place of
n, Owner. Book 12, Page 23. Rec. Aug

RANGE, a sub. of Sec. 4-38-12. Rec.

k. 1 in Leiter's Add. (see "E"). Book 22

8 in Sub. of Lots 1 to 19 (see "F").





161 N. Clark Street, Suite 4200, Chicago, IL, 60601 312.819.1900

February 2, 2016

Joseph T. Van Leer
(312) 873-3665
(312) 893-2008 Direct Fax
jvanleer@polsinelli.com

Mr. Robert Helle
Pathway Senior Living, LLC
333 W. Wacker
Suite 1010
Chicago, IL 60606

Re: IDPH – Assisted Living Licensure Process

Dear Mr. Helle:

You asked that I provide an overview of the Illinois Department of Public Health (“IDPH”) regulatory authority with respect to assisted living facility licensing, and, particularly, as it relates to changes of ownership. As you know, all assisted living establishments must obtain a license to operate from IDPH. In order to obtain such license, the operator shall submit a license application and non-refundable application fee must to IDPH 60 days prior to the anticipated date of licensure.

Upon receipt and review of the application for license and review of the applicant establishment, the Director of IDPH may issue a license based upon review of certain criteria as determined by IDPH from time to time. IDPH also follows this process upon the sale of an assisted living facility. Specifically, IDPH may issue a license based upon the following:

1. That the applicant or corporation or other entity, is responsible and suitable to operate or to direct or participate in the operation of an establishment by virtue of financial capacity appropriate business or professional experience, a record of lawful compliance with lawful orders of the Dept. and lack of revocation of a license issued und the Act, the Nursing Home Care Act, or the MR/DD Community Care Act during the previous five years;
2. That the establishment is under the supervision of a full-time manager who meets applicable IDPH requirements;

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Atlanta Chicago Dallas Denver Kansas City Los Angeles Nashville New York Phoenix San Francisco
St. Louis Washington, DC Wilmington



February 2, 2016

Page 2

3. That the establishment has staff sufficient in number with qualifications, adequate skills, education, and experience to meet the 24-hour scheduled and unscheduled needs of residents and who participate in ongoing training to serve the resident population;

4. That all employees who are subject to the Health Care Worker Background Check Act meet the requirements of that Act and the requirements of the Health Care Worker Background Check Code;

5. That the applicant is in substantial compliance with all applicable IDPH rules;

6. That the applicant pays all required fees; and

7. That, if the applicant establishment offers, advertises or markets to provide specialized services for individuals with Alzheimer's disease and related dementias through an Alzheimer's special care program, the applicant has provided an accurate disclosure document to the Department in accordance with the Alzheimer's Disease and Related Dementias Special Care Disclosure Act and in substantial compliance with Section 150 of the Act and Section 295.4060.

Once the above mentioned criteria has been met, IDPH will issue a probationary license which will include the location of the establishment, the number of licensed assisted living units, the effective date and the expiration date of the license. The probationary license shall be valid for 120 days. Within 30 days prior to the termination of the probationary license, the Department shall survey the establishment and if the establishment meets the applicable requirements for licensure, a regular license will be issued. A license will only be issued after a survey if the facility meets all IDPH requirements.

As described herein, IDPH administers a robust approval process for all assisted living facilities and the owners of such facilities to ensure compliance with applicable laws and adequate delivery of care to assisted living facility residents. To the extent you or anyone has questions or comments regarding this process, please do not hesitate to contact me at the number below. Thank you for your attention to this matter.

Sincerely,

Joseph T. Van Leer



February 2, 2016
Page 3

JTV:lk

Angela Mesaros

From: Helle, Bob <RHelle@pathwaysl.com>
Sent: Thursday, January 28, 2016 1:37 PM
To: Angela Mesaros
Cc: Dimaano, Patrick
Subject: FW: LaGrange application
Attachments: 20160128131124900.pdf

Angela:

Attached is data regarding unit sizes in Assisted Living in answer to Pat's question at the meeting Monday.

The attached is less than pretty. It is hard to scan out of a book but the data comes from ALFA (Assisted Living Federation of America <http://www.alfa.org/alfa/default.asp>) and NIC (National Investment Center <http://www.nic.org/>) who are the best authorities for senior housing. To summarize the table (page 2) and compare to our proposal:

	ALFA	NIC	Pathway proposal
Average Studio (sq. ft.) Care (usually smaller than Assisted Living and not included in the book)	300.2	317.8	467 Assisted Living, 350 Memory
Average One-Bedroom	515.2	448.1	576
Average Two-Bedroom	727.4	597.1	1019

Please let me know if you need additional information.

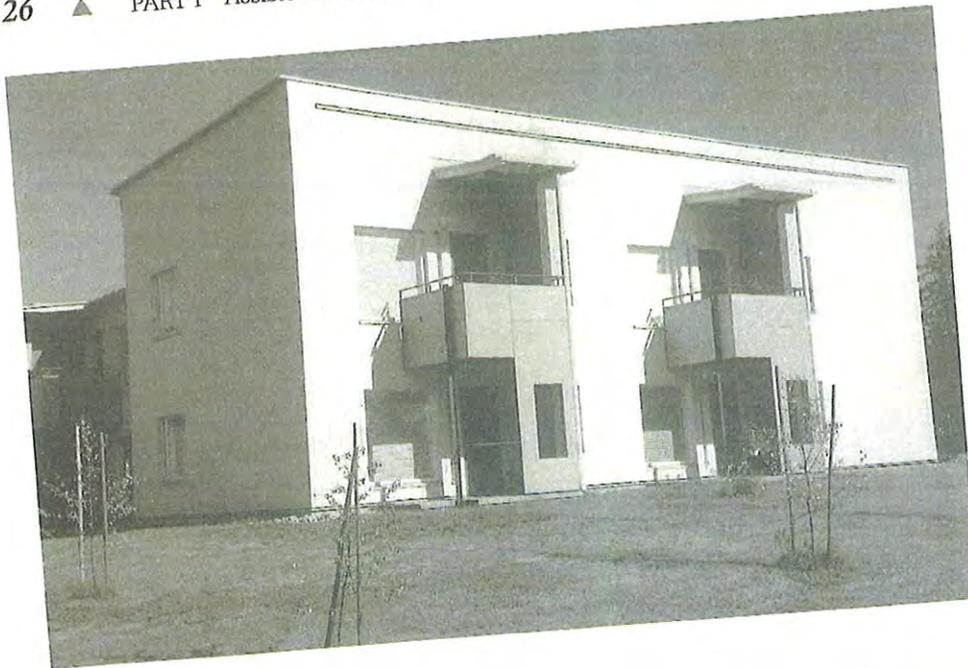
Thanks,
Bob



Design for Assisted Living

GUIDELINES FOR HOUSING THE PHYSICALLY AND MENTALLY FRAIL

Victor Regnier, FAIA



Sculptural balcony design provides a sheltered area: This balcony design for the Oulusalon service house in Oulunsalo, Finland, is both beautiful and functional.

Assisted Living: Dwelling Unit Statistics

	ALFA ¹ 2000	NIC ² 1998	NIC-Modern ³ 1998
Dwelling Units by Type			
1. % semi-private rooms ¹	12.6%	22.0%	19.9%
Average square footage	315.5 SF	—	—
Average daily rate	\$63.35	—	—
2. % of private (studio) units	61.0%	60.5%	60.3%
Average square footage	300.2 SF	317.8 SF	317.0 SF
Average daily rate	\$73.97	\$60.21	\$60.58
Average occupancy	—	94.2%	85.5%
3. % of one-bedroom units	21.9%	31.3%	29.3%
Average square footage	515.2 SF	448.1 SF	448.2 SF
Average daily rate	\$84.61	\$71.33	\$76.59
Average occupancy	—	93.8%	87.4%
4. % of two-bedroom units	2.5%	8.2%	10.4%
Average square footage	727.1 SF	597.1 SF	544.0 SF
Average daily rate	\$101.55	\$72.54	\$77.80
Average occupancy	—	85.3%	86.3%
5. Average daily rate (all unit sizes)	—	\$66.94	\$70.78

¹ ALFA: ALFA statistics are from an annual national survey of assisted living providers who are ALFA members. The 1999 survey involved responses from 350 assisted living providers representing 18,019 units and 18,272 residents. Because the survey is limited to ALFA members, it does not necessarily represent the universe of assisted living environments available to older people. (ALFA, 2000)

² NIC: The NIC study is the result of a study of 178 assisted living communities located in the contiguous 48 states and of 1023 residents living in those communities. The survey instruments consisted of a facility survey completed by facility personnel and a resident survey with a resident assessment instrument completed by older residents with assistance from family members and staff. (NIC, 1998)

³ NIC-Modern: The "modern subsample" of the NIC study consists of newer facilities that have opened since 1990. They were also screened to meet the following three criteria: (a) free-standing, (b) purpose-built, and (c) sponsored by for-profit sponsors. (NIC, 1998)

⁴ The two surveys calculated units types differently. In the ALFA survey, semiprivate units were counted as a separate unit type. In the NIC study units were counted by three sizes. The number of units designed to be shared by another person were calculated separately.



Live Well. Age Well. Be Well.

Aspired Living of La Grange

Application for Site Plan Approval and Planned Development,
Amendments, Design Review Permit and Special Use

January 8, 2016

Aspired Living of La Grange developed, managed, and owned by
Pathway Senior Living



333 W Wacker Dr., Chicago, IL 60606, Suite 1010
Phone: 312-837-0701
www.Pathwaysl.com

Aspired Living of La Grange
Application For Site Plan Approval, Planned Development, Amendments,
Design Review Permit & Special Use
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Aspired Living of La Grange
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- Preliminary Utility Plan
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10. Preliminary Stormwater Report
 11. Traffic Study (KLOA)
 12. Senior Housing Market Study (MDS)
 13. Fiscal Impact Report (Kane, McKenna and Associates, Inc.)
 14. Park District Support Letter



PROJECT DESCRIPTION

Aspired Living of La Grange (“Aspired Living”) is generally located just east of the corner of Shawmut Avenue and La Grange Rd. Pathway Senior Living (“Applicant”) proposes a Class A, market-rate, rental Assisted Living community on 2.82 acres in La Grange, Illinois

The site is currently zoned as Open Space owned by the La Grange Park District. The Applicant proposes to re-zone the parcels to R-8 with a Planned Development overlay.

The Applicant proposes 116 private, apartment units over a total of five floors. The community will have a mix of studio, 1-bedroom, and 2-bedroom units. Aspired Living will be licensed as an Assisted Living/Shared Housing Establishment governed by Illinois Department of Public Health (IDPH).

Aspired Living will be designed to provide the highest quality of life for local seniors. The 5-story assisted living component provides seniors a rental housing solution for those who can live independently, but also require some assistance. The separate 1-story memory care component provides a rental, residential solution to support seniors with dementia such as Alzheimer’s disease.

Our community will offer residents a wide range of activity, meal, and wellness services such as medication management, bathing, dressing and memory support programming. In addition to their apartments, residents will enjoy the varied and spacious community spaces that are extensions of their homes.

INGRESS/EGRESS

Aspired Living can be accessed from La Grange Road via Shawmut Avenue (Access Point A). Shawmut Avenue currently terminates approximately 200 feet east of La Grange Road. The Applicant will construct a road, meeting Village standards to access Aspired Living’s main entrance, parking lot and service drive. The road will be accessible to the public and will provide public access to Gordon Park

The road will be located on Park District property, and is improved with a pedestrian walk linking La Grange Road and Gordon Park to the east. The road terminates in a vehicle turnaround, offering access to a pick-up/drop-off zone at the main entrance, and a surface parking lot immediately south of the main entrance.

Access Point A is designed for full access ingress/egress (one lane into Shawmut Avenue, a left and right hand turn lane out of Shawmut. Avenue).

A one-way service and fire-protection drive circumnavigates the building in a clockwise direction on the west, north, and east sides of the property. All service and delivery functions take place on the north and east sides of the building. This drive will also be available to the LaGrange Park District service vehicles.



LANDSCAPE/HARDSCAPE

Aspired Living will include new landscape, hardscape and site lighting on the property (See attached landscape plan). Improvements include the following landscape amenities:

- New pedestrian sidewalks will be built on both sides of the Shawmut extension from easterly to connect both the Aspired Living of La Grange front entrance and Gordon Park.
- Aspired Living will be improved with two fully landscaped exterior courtyards designed for outdoor recreation.
- A fully landscaped 38' x 92' courtyard will provide outdoor recreational opportunities for 32 Memory Care residents in a secure courtyard extending social activities to the outdoors. The courtyard will contain walking paths, social seating areas, and space for activities.
- The 84-96 Assisted Living residents will have access to their own 100' x 100' enclosed courtyard. The courtyard is visible from the main entrance and parking lot, and can be accessed from most ground level social spaces. The landscaped courtyard will be provided with a free-standing gazebo, walking paths, raised garden planters, outdoor dining opportunities, and space for passive relaxation.
- The roadway, sidewalks, pedestrian path, parking lot and perimeter building areas will be landscaped and maintained by the Applicant.

BUILDING DESIGN

Aspired Living is designed to harmonize with the surrounding area and community. The scale of the building will be very similar to the adjacent five-story Uptown La Grange Development, currently under construction to the south.

The building consists of a one-story memory care wing surrounding a courtyard, attached to an L-shaped 5-story assisted living wing. The massing of the development locates the one-story wing closest to the existing 10-story La Grange Tower condominium building and the proposed 5-story Uptown La Grange development. The 5-story assisted care wing is located at the extreme northeast corner of the site, furthest from adjacent development. A large landscaped courtyard opens to the south boundary of the property, and is visible from the adjacent developments and Gordon Park.

The exterior materials include brick, cast stone, fiber cement clapboard panels, stucco at the attic story, and a metal cornice. Windows will be operable single-hung in bedrooms, and full-view sliding doors with Juliet balconies in living rooms.

Social spaces will be provided with extensive glazed areas opening up to the outdoor courtyards. Top lighting via clerestory windows will be incorporated in major activity areas on the ground floor.



SIGNAGE

Aspired Living plans to construct a ground-mounted monument sign adjacent to the southwest corner of the building, as shown on the Site Plan in Section 8. The Applicant intends to conform to all of the sign design standards required by the Village.

Way-finding and directional signage will be provided to promote easy navigation through and around the site including the parking lot.

LOCATION/SURROUNDING USES

The Property is located is generally located at the northeast corner of La Grange Rd and Shawmut Ave. The property is currently zoned OS and is surrounded by R-8, C-3, and OS zoned uses. Photos of the Property and of the surrounding uses follow this section.

Aspired Living is located within a five minute walk of BNSF Metra Stop in La Grange and has a walk score of 89 (“Very Walkable”, www.walkscore.com). The Property is within a mile of a significant amount of amenities including restaurants, coffee shops, grocery stores, entertainment, parks, schools and hospitals.

Existing uses include:

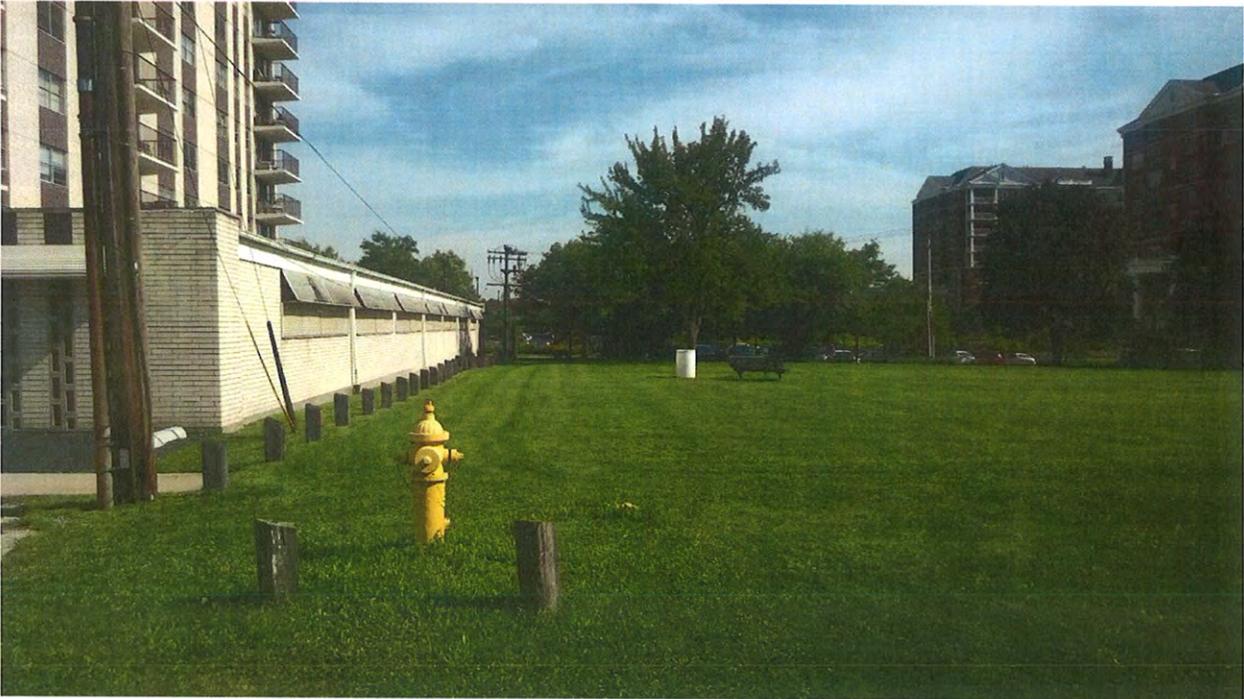
- North: Village of La Grange Park
- East: Gordon Park currently zoned as OS.
- South: Uptown La Grange is multifamily and retail development currently under construction. (Residential Component comprises of a 5-story apartment building, approximately 68’ feet in height and the Retail Component includes 9,200 square feet). This use is zoned R-8 and C-3.
- West: La Grange Tower (10-story condominium building, approximately 100 feet in height). This use is zoned R-8.
- Southwest of the Property across Shawmut Ave.: single story retail and office/medical uses including Sprint, Sleepy’s and Mac Neal Healthcare Center. Theses uses are zoned C-3.



SITE PHOTOS AND SURROUNDING USE PHOTOS



Facing Northeast from Shawmut Ave.



Facing North from Shawmut Ave.





Facing South from the Northeast end of the Property



Facing West from the Northeast end of the Property





Facing northwest from the northeastern end of the Property



Facing North from the Southwest end of the Property



PROJECT DATA/REQUESTED MODIFICATIONS TO R-8 ZONING DISTRICT

The Project Data Matrix is located on the last page of the Executive Summary. Applicant is requesting the following modifications under the R-8 zoning district.

- **Front Yard Setback** – Request the Front Yard setback be reduced from 37 feet (60% of the building height) to 0 feet under Article IV-110.C of the Zoning Code. The Applicant has an easement to use the property immediately south and adjacent to the front property line. This 66'-wide parcel of land will be landscaped and maintained by the Applicant. It provides ample separation from adjacent development, dedicated green space, and pedestrian access to Gordon Park. Improvements include two courtyards as shown on plans. Applicant also proposes to add a landscape feature on the eastern extension of Shawmut allowing public, pedestrian access to Gordon Park.
- **Rear Yard Setback** - Request the Rear Yard setback be reduced to 31'-0" in lieu of 20% lot depth (approx. 37.7') per Article IV-110.C.4 of the Zoning Code. A compliant rear setback can be maintained at the east end of the site; but the site tapers 23 feet in depth from east to west, prohibiting a compliant setback at the west end.
- **Minimum Dwelling Unit Size** – Request the Minimum Dwelling Unit Size for an Efficiency/One-Bedroom Unit be reduced from 650 square feet to approximately 356 square feet per (Article IV-110.D.of the Zoning Code). The size of the proposed efficiency is within the range of what is considered market for an Efficiency in an Assisted Living building.
- **Maximum Building Coverage** - Request the maximum building coverage be increased to 35.4% in lieu of 35% per Article IV-110.E.1 of the Zoning Code. Applicant has maintained a height of 5 stories to fit into the context of the surrounding area, and to be well below height of adjacent condominium tower. Maintaining this height spreads out the overall building program to a larger building coverage.
- **Maximum Total Lot Coverage** - Request that the maximum total lot coverage be increased to 74% in lieu of 60% per Article IV-110.F of the Zoning Code. Applicant has maintained a height of 5 stories to fit into the context of the surrounding area, and to be well below height of adjacent condominium tower. Maintaining this height spreads out the overall building program to a larger lot coverage.
- **Perimeter Landscape Open Space** – Eliminate requirements for 10'-0" deep landscaped buffer around site perimeter as noted in Article IX-104.A. Landscaping and/or hardscaping is planned for perimeter areas except in places of ingress/egress and fire lanes.



BUILDING INFORMATION

Aspired Living will be improved with a mix of Studio, 1 Bedroom, 2 Bedroom and 2 Bedroom/Den Units. The approximate allocation of the 116 units is: 5% studio, 65% 1-bedroom, 21% 2-bedroom, 9% 2-bedroom/Den. Unit sizes will range approximately from 356 square feet (studio), 650 square feet (1 bedroom), and to over 950 square feet (2 bedroom).

The following community areas will support and enhance our diverse Pathway life-enrichment program, VIVA!

- Wellness Suite with therapy gym and fitness area
- Private physician office for on-site physician visits
- Spa with massage room
- Beauty salon/barber shop
- Bistro casual dining for residents, staff and guests
- Formal dining room
- Private dining room for family gatherings
- Library and Technical Center with computer lab
- Community Life recreation room with demonstration kitchen
- Theater/Chapel
- Art Gallery spaces

The typical interiors of the assisted living units include wood cabinets, granite 'L' shaped countertops, stainless steel refrigerator, a microwave, in-unit washer/dryer combination unit, among other features. Ample open space and landscaping, courtyards, and pedestrian connectivity throughout foster neighbor interaction and contribute to place making.

COMPENSATING AMENITIES

Applicant will only be required to complete the following as part of the development of Aspired Living, with such improvements (if needed) being dedicated to and accepted by the Village. A development agreement to be negotiated between the Applicant and the Village will include a provision(s) requiring the Applicant to provide only the following Compensating Amenities:

- **Shawmut Extension** - The Applicant will construct an extension of Shawmut Avenue on Park District property from the western end of the Property line to the eastern terminus as defined on the plans in Section 8. Applicant will be responsible for on-going maintenance of the extension, adjacent sidewalks and landscaping. The extension shall meet Village standards.
- **Sidewalk Connectivity** – The Applicant, with Park District permission, will construct a landscaped pedestrian access from the western end of the Shawmut Ave. extension to Gordon Park. The extension will terminate in a formal park entrance to be designed with the Park District.
- **Streetscape Amenities** – Pedestrian style light fixtures and street trees will be included in the Shawmut Ave. extension to match the Village's current streetscape initiative.



- **Overhead Utility Lines** – The applicant will bury all overhead utility line occurring on the property.
- **Water Main under Shawmut Avenue Extension** – Applicant to remove and replace existing water main under Shawmut Avenue extension with a new 12” water main from the intersection located at the northwest edge of Locust Avenue Parking Lot across the proposed site to the utility easement and existing manhole on the east side of LaGrange Road (approximately 700lf). Disturbed area to be restored to match existing conditions.
- **Maintenance of Building and Outdoor Public Spaces Covenant**– The owner will maintain the exterior of the building, exterior common spaces, and outdoor public spaces on the owner’s tract in good order, condition, and repair. The Village has the right to enforce the covenant; covenant cannot be altered without Village consent.
- **Cash Contribution** – The Applicant will contribute cash to the following, payable to the Village upon Building Permit issuance:
 - \$120,000 towards the Fire Department to offset the impact of additional services
 - \$50,000 towards a new ambulance
 - \$90,000 towards the Police Department to offset the impact of additional services
 - \$200,000 towards the Ogden Avenue Relief Sewer (OARS) fund

EASEMENTS

The Applicant requests the following easements from the Park District for the Aspired Living development:

- The Park District will provide an easement allowing public access to the extension of Shawmut east of the west property line as proposed in Section 14.
- The Park District will provide an easement for public utilities in the extension of Shawmut Ave.

APPLICABLE BUILDING CODE GUIDELINES

Aspired Living is being designed and will be reviewed by Code Guidelines the Village under IBC 2015 and all companion building codes.

IFC 2012 Site Fire Water Flow Reduction Allowances – Section B105 of the IFC 2012 Code provides up to 75% reductions to the minimum required site water flows as outlined in Chart B105.1, if approved by Fire Marshall, if buildings are equipped with appropriately designed fire sprinkler systems. Applicant anticipates the off-site water main improvements contributions (part of Compensating Amenities) to be made by Applicant will satisfy the requirements to provide sufficient water flow to the site. If after the Applicant’s offsite water main improvements are completed, Applicant does not achieve the minimum fire flows as detailed in Chart B105.1, Applicant will be provided sufficient reductions by the Village and Fire Marshall under IFC 2012 code (up to 75% fire flow reductions allowed for fully sprinklered projects) in order to comply with this IFC code.



The Civil Plan indicates locations for new fire hydrants, paved access drives and building wall hydrants to provide for sufficient hydrant coverage in the event of a fire or other emergency situation.

STORM WATER MANAGEMENT / MUNICIPAL WATER RECLAMATION DISTRICT OF GREATER CHICAGO

Existing Conditions

Located along existing vacated Shawmut Avenue, just east of LaGrange Road the existing site is undeveloped pervious land with 10% +/- slope from west to east. Surrounding areas include the Uptown La Grange development that is currently under construction south of the site, Gordon Park to the east, an existing condominium structure to the west, and existing access drive and parking lot for Plymouth Place to the north.

All existing stormwater currently sheet drains from west to east offsite into the existing LaGrange park district property. An existing 12 inch combined sewer runs west to east through the site along existing vacated Shawmut Avenue. At the first downstream manhole east of the site the combined sewer increases to 24 inches in size.

Proposed Conditions

The existing portion of Shawmut Avenue will provide access to the site from La Grange Road. Shawmut Ave will be extended east on property that will continue to be owned by the Park District and will terminate in a vehicle turnaround at the main entrance of the building. The building will be located north of the access drive and the parking lot will be located south of the access drive. In addition, access is possible from Ogden Avenue through the adjacent mixed use development south of Shawmut Avenue.

The proposed building will have a walkout lower level on the east side of the building to help accommodate the large change in existing grade across the site. Retaining walls will be utilized around the site as well.

Stormwater detention will be provided in an underground storage vault (StormTrap), which has been designed to provide adequate storage in accordance with the Cook County Watershed Management Ordinance and Technical Guidance Manual. The requirements of the Ordinance will be applied to the entire project area, including the Park District owned property containing the access drive extension and pedestrian path. An outlet control structure with a restrictor and weir wall will be located downstream of the StormTrap outlet to satisfy the rate control requirements of the ordinance. The StormTrap structure will be placed on an aggregate base, approximately 3 feet in depth, with an underdrain to meet the volume control requirements of the Ordinance. Both the StormTrap outlet and the underdrain outlet will connect to the combined sewer manhole on the 24" combined sewer located east of the site (Section 10).



January 8, 2016

ASPIRED LIVING OF LA GRANGE
 APPLICATION FOR REZONING, PLANNED DEVELOPMENT, SITE PLAN APPROVAL
 PROJECT DATA MATRIX

Existing Site Characteristics:	2 parcels separated by 66' wide R.O.W (not dedicated) Total area of 2 parcels: 122,972 SF (2.823 acres)
Existing Zoning District:	OS Open Space: Any use of such spaces inconsistent with their existing, established character will require rezoning.
Adjacent Zoning Districts:	North: Village of La Grange Park South: C-3 (Opus Development) East: OS Open Space (Gordon Park) West: R-8 Multi Family (10-story condo)
Proposed Use	NURSING & PERSONAL CARE FACILITY. An establishment that provides full-time nursing and health-related personal care, but not hospital services, with in-patient beds for three or more individuals who are not related by blood or marriage to the operator and who, by reason of advanced age, chronic illness, or infirmity, are unable to care for themselves.
Proposed Zoning District	Request change to R-8 MULTI FAMILY - NURSING & PERSONAL CARE FACILITY is permitted as a Special Use.
Planned Development	Request project review under provisions of Ch. XIV, Part V: Planned Developments

Project Data	Proposed	Notes
Land Area	122,972 SF	
Total Building Area	114,000 GSF	
Building Footprint	43,500 SF	
Additional Impervious Area	<u>47,500 SF</u>	
Total coverage	91,000 SF	
Dwelling Units	32 Memory Care (32 Beds) <u>84 Assisted Liv</u> (<u>96 beds</u>)	

ASPIRED LIVING OF LA GRANGE
 APPLICATION FOR REZONING, PLANNED DEVELOPMENT, SITE PLAN APPROVAL
 PROJECT DATA MATRIX

	116	(128 beds)
Building Coverage	43,500/122,972 = 35.4%	
Total Lot Coverage	91,000/122,972 = 74%	
Floor Area Ratio	114,000/122,972 = 0.927	
On-site Parking	63 spaces; 9'-0" x 18'-0" <u>3</u> handicapped; 16'-0" x 18'-0" 66 total	
On-site Loading	Two spaces	One @ 12' x 50'; one @ 10' x 25"

Bulk, Yard and Space Requirements	Proposed	Notes
Height: 3 stories/45'	5-stories/approx. (61') 5-stories + basement (72')	Height adjustment allowed under IV 110-H.2 (up to 7-stories or 90') Height adjustment allowed; see above
Total Lot Area: 12,000 SF (minimum)	122,972 SF	Minimum Lot Area complies
Lot Area/Unit: 600 SF per bed (minimum)	128 beds: 960.7 SF/bed	Lot Area per bed complies
Front Yard: 25' or 60% bldg height (approx. 37')	0'-0"	Request relief.
Interior Side Yard: 5' or 10% lot depth (18.375')	32'-8"	Interior Side yards comply
Rear Yard: 20' or 20% lot depth (37.7')	31'-0"	Request relief
Min. Dwelling Unit Size: 1-BR/Efficiency: 650 SF	356 GSF; 323 NSF	Request relief
Min. Dwelling Unit Size: 2-BR: 850 SF	951 GSF; 880 NSF	Dwelling unit size complies
Maximum Building Coverage: 35%	35.4%	Request relief

ASPIRED LIVING OF LA GRANGE
 APPLICATION FOR REZONING, PLANNED DEVELOPMENT, SITE PLAN APPROVAL
 PROJECT DATA MATRIX

Maximum Total Lot Coverage: 60% 74% Request relief

Parking Spaces Required	Proposed	Notes
One per every 3 beds + one per employee	66 (128/3=43 + 23 employees)	Parking count complies

Loading Spaces Required	Proposed	Notes
One (12' x 50' x 15' H)	Two	Size, locations comply

Perimeter Landscape Open Space	Proposed	Notes
Minimum 10' landscaped open space	5'-0"	Request relief

Village of La Grange

53 S. La Grange Road, La Grange, IL 60525

Phone (708) 579-2320 Fax (708) 579-0980

APPLICATION FOR SITE PLAN APPROVAL

Case No.: 227
Date Filed: 1/8/16
UARCO: 6684

TO THE VILLAGE MANAGER and/or
PRESIDENT AND BOARD OF TRUSTEES
VILLAGE OF LA GRANGE

Application is hereby made by Pathway Development Partners, LLC
(Please Type or Print)

Address: 333 W. Wacker Dr., Suite 1010
(City) Chicago (State) IL (ZIP) 60606
Phone: (312-837-0701)

Owner of Property Located at: 35 Shawmut Ave., La Grange, IL 60525

Permanent Real Estate Index No.: 18-04-200-051-0000, 18-04-200-049-0000

Present Use: Vacant Present Zoning Class.: OS (open space)

Please indicate if site plan approval is needed in connection with any development or redevelopment requiring:

Design Review Permit _____ Special Use Permit _____ Planned Unit Development

PLAT OF SURVEY must be submitted with application. The plat should show existing buildings, lot lines and dimensions, as well as all easements, all public and private rights-of-way, and all streets across and adjacent to the subject property.

* * *

I, the undersigned, do hereby certify that I am the owner, or contract purchaser (evidence of title or other interest you have in the subject property, date of acquisition of such interest, and the specific nature of such interest must be submitted with application) and do hereby certify that the above statements are true and correct to the best of my knowledge.

Robert A. Heller
(Signature of Owner or Contract Purchaser)

(Address) 333 W. Wacker Dr., Ste 1010

(City) Chicago (State) IL (Zip) 60606

Subscribed and sworn to before me this 8th day of January, 2016.

[Signature]
(Notary Public)

(Seal) 

Whenever an application filed pursuant to any provision of this code involves any use, construction, or development requiring the submission of a site plan pursuant to section 14-402 of this Code, seventeen (17) 11 x 17 copies of a site plan illustrating the proposed use, construction, or development, and **providing at least**

the following data and information, on one or more sheets, shall be submitted as part of the application:

1. A **GRAPHIC RENDERING** of the existing conditions, which depicts:
 - a. All significant natural, topographical, and physical features of the subject property including contours at 1-foot intervals;
 - b. The location and extent of tree cover including single trees in excess of 8 inches in diameter at breast height;
 - c. The location and extent of water bodies and courses, marshes and special flood hazard areas, base flood areas and floodways on or within 100 feet of the subject property;
 - d. Existing drainage structures and patterns; and
 - e. Soil conditions as they affect development.
2. The location, use, size and height in stories and feet of structures and other land uses on properties within 250 feet of the subject property.
3. For all areas within any required yard or setback, and any proposed regrading of the subject property.
4. Data concerning proposed structures and existing structures that will remain, including:
 - a. Location, size, use, and arrangement, including height in stories and feet;
 - b. Where relevant, floor area ratio, gross floor area, and net floor area;
 - c. Where relevant, number and size of dwelling units, by dwelling unit type, and number of bedrooms;
 - d. Building coverage; and
 - e. Description of the calculation method utilized in computing all required statistics shown.
5. Minimum yard and setback dimensions and where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
6. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
7. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines. Also, easements and all other utility facilities.
8. Location, size, and arrangements of all outdoor signs and lighting.
9. Location and height of fences or screen plantings and the type or kind of building materials or plantings

to be used for fencing or screening.

10. Location, designation, and total area of all usable open space.
11. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
12. A traffic study, if required by the Village Manager, the Board, or Commission hearing the application.
13. Final architectural working drawings of all structures indicating typical architectural elevations, style of structures, and typical building materials.

If possible, please submit electronic copies of plans.

* * *

Enclosures:

(FOR VILLAGE USE ONLY)

1. Filed with the Office of the Community Development Director: _____, 20

2. Site Plan reviewed: _____, 20 _____.

3. In terms of the standards established by Subsection F of Section 14-402 of the Zoning Code the proposed site plan has been:

(i) Approved as submitted:

(ii) Approved subject to specific modifications:

(iii) Denied approval of site plan based of the following findings:

* * *

(APPLICABLE WHEN SITE PLAN APPROVAL IS ASSOCIATED WITH ANY DEVELOPMENT OR REDEVELOPMENT REQUIRING A DESIGN REVIEW PERMIT, SPECIAL USE, OR PLANNED DEVELOPMENT.)

5. Transmitted to Plan Commission at their meeting held:

6. Continuation (if any):

7. Notice of hearing published in: _____ on

8. Findings and Recommendations of Plan Commission referred to Village Board at meeting of

9. Final action of Village Board for adoption of amending ordinances or denial of applicant's request at meeting held:

Village of La Grange

53 S. La Grange Road, La Grange, IL 60525
Phone (708) 579-2320 Fax (708) 579-0980

APPLICATION FOR PLANNED DEVELOPMENT

TO THE PRESIDENT AND
BOARD OF TRUSTEES
VILLAGE OF LA GRANGE

Application No. _____
Date Filed 1/8/16
UARCO No. 6684

(Please Type or Print)

Application is hereby made by Pathway Development Partners, LLC

Address: 333 W. Wacker Dr., Ste 1010, Chicago, IL 60606 Phone 312-837-0701

Email: rhelle@pathwaysl.com

Owner of property located at 35 Shawmut Ave., La Grange, IL 60525

Permanent Real Estate Index No. 18-04-200-051-0000, 18-04-200-049-0000
as set forth by plat of survey attached hereto

Present Zoning Classification OS (open space)

Requested Modifications from the Zoning Code: Provision See Attached
Modification: See Attached

STANDARDS FOR PLANNED DEVELOPMENTS: The petitioner should state **FACTS AND REASONS** and submit any pertinent evidence establishing each of the following principles:

A. Special Use Permit Standards. The petitioner will establish that the proposed development will meet each of the standards made applicable to special uses.

- (a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

See Attached

- (b) No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

See Attached

- (c) No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

See Attached

- (d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

See Attached

- (e) No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

See Attached

- (f) No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

See Attached

- (g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

See Attached

B. Standards for All Planned Developments. The petitioner will establish that the proposed development will meet each of the following additional standards:

- (a) Unified Ownership Required. The entire property will be in single ownership or under such unified control as to ensure that the entire property will be developed as a unified whole.

See Attached

- (b) Covenants and Restrictions to be Enforceable by Village. All covenants, deed restrictions, easements, and similar restrictions will be recorded in connection with the planned development may not be modified, removed, or released without the express consent of the Board of Trustees and that they may be enforced by the Village as well as by future landowners within the proposed development.

See Attached

C. Standards for Large Planned Developments. The petitioner will establish that any project that includes 40,000 square feet or more of total land area or more than one principal building will meet each of the following standards (If the project site is less 40,000 square feet, skip ahead to Section B):

- (a) Protected Open Space.¹ The protected open space must be held in common ownership or by an entity specifically responsible for the care and maintenance of the space. The protected open space also must be (i) held for use by all residents or other occupants of the development or (ii) dedicated to, and accepted by, the Village of La Grange, the Park District of La Grange, a school district, or another public entity as permanent common open areas for parks, recreation and/or related public uses.

See Attached

- (b) Landscaping and Perimeter. Any area of a planned development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening, or natural or man-made buffers. Every planned development having 20 or more acres shall provide a perimeter landscaped open space along each of its boundaries; each such open space shall have a minimum depth equal to the minimum front yard required in the district it is located or it abuts, whichever is greater.

See Attached

¹ Protected Open Space may include parks, playgrounds, landscaped green space, community centers, or other similar areas and associated recreational amenities protected permanently as open space.

D. Standards for Small Planned Developments. The petitioner will establish that any project that includes less than 40,000 square of total land area (a “Small PD”), will meet each of the following additional standards:

- (a) Open Space. Show that the largest amount of open space reasonably possible has been included in the Small PD Plan and that open space has been assembled and designed to maximize its quality, usefulness, beauty, and value to the development. The Village may require recorded restrictions and covenants or dedication of development rights to assure the perpetual care, conservation, and maintenance of the operation of the open space and to prevent the use of common open space for any structure, improvement, or use other than that shown on the approved Small PD Plan. The restrictions must be permanent and not for a given period of years and must run with the land.

N/A

- (b) Landscaping and Perimeter Treatment. To the fullest extent possible, any area of the planned development not used for structures or circulation elements shall be landscaped or otherwise improved. Include details of landscaped perimeter:

N/A

- (c) Public Improvements³. Provide for all public improvements necessary to serve the PD, including without limitation streets, sidewalks, lights, signs, underground utilities, and landscaping, to be constructed or installed to Village standards at no cost to the Village.

N/A

³ May be in the form of a cash contribution. If approved by the Board of Trustees, then the contribution must be made by the applicant to the Village prior to the issuance of any permit authorizing construction. Must be designated specifically for use to provide one or more features defined as compensating amenities. The Board may approve a cash contribution only if (a) the project site is inadequate for any physical on-site compensating amenity as a result of its size, shape, or other topographic feature, (b) there is no immediate need for a compensating amenity on public property abutting or adjacent to the project site, and (c) there is a compelling and appropriate compensating amenity, as determined by the Board of Trustees, for which a cash contribution can be designated.

- (d) Excellence of Design. Describe the architectural quality of the building, with excellence of design considering the context within which the development is being proposed and the general standards stated in the “Urban Design Principles,” “Urban Design Framework,” and “Appendix A” of the Village of La Grange Urban Design Guidelines dated February 2009 (available on the Village website: www.villageoflagrange.com and at the Community Development Department offices).

N/A

NOTICE: This application must be filed with the office of the Community Development Director together with seventeen (17) 11 x 17 copies of any required drawings, plats of survey, etc, the necessary data called for above a minimum of thirty days in advance of the public hearing and the required filing fee escrow a minimum of thirty days in advance of the public hearing date. The escrow will be utilized to cover all costs incurred by the Village as outlined in Paragraph 14-101D2 of the Zoning Code:

- (a) Legal Publication (direct cost);
- (b) Recording Secretarial Services (direct cost);
- (c) Court Reporter (direct cost);
- (d) Administrative Review and Preparation (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (e) Document Preparation and Review (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (f) Professional and Technical Consultant Services (direct cost);
- (g) Legal Review, Consultation, and Advice (direct cost);
- (h) Copy Reproduction (direct cost); and
- (i) Document Recordation (direct cost); and
- (j) Postage Costs (direct cost).

The escrow for the application is as follows:

Planned Development - \$3,000

Should the funds in escrow fall below \$300, the Village will request that the applicant replenish the escrow fund prior to further processing of said application.

Application for Planned Development

The above filing fee and escrow shall be payable at the time of the filing of such request. Any funds remaining in escrow will be returned to the applicant after Village Board approval and all staff and consultant work is completed.

I, the undersigned, do hereby certify that I am the owner or contract purchaser (Evidence of title or other interest you have in the subject property, date of acquisition of such interest and the specific nature of such interest must be submitted with application) and do hereby certify that the above statements are true and correct to the best of my knowledge. I also acknowledge that Village staff will prepare a report with a recommendation to the Plan Commission prior to my hearing. I understand that this report will be available for my viewing the Friday prior to my hearing and it is my responsibility to contact the Village to view this report or obtain a copy.

Robert H. Mills

(Signature of Owner or Contract Purchaser)

(Address) 333 W. Wacker Dr., Ste 1010

(City) Chicago

(State) IL

(Zip Code) 60606

SUBSCRIBED AND SWORN TO BEFORE ME THIS

8th DAY OF January, 2016.

NOTARY PUBLIC



PLACE SEAL HERE

(FOR VILLAGE USE ONLY)

1. Filed with the office of the Community Development Director _____, 20
2. Transmitted to Plan Commission at their meeting held:
3. Continuation (if any):
4. Notice of hearing published in: _____ on:
5. Findings and Recommendations of Plan Commission referred to Village Board at meeting of:
6. Final action of Village Board for adoption of amending ordinances or denial of applicant's request at meeting held:
7. Payment of expenses satisfied:

REMARKS:

OWNER OF PROPERTY/PERMISSION TO SEEK GOVERNMENT APPROVALS

The Applicant is the contract purchaser for the Property. The Applicant intends to contribute the Property and all agreements relating thereto to a to-be formed special purpose entity.

The property is currently owned by the LaGrange Park District. The Purchase and Sale agreement between the Applicant and the Park District allows the Applicant to work with the Village of La Grange to seek Government approvals for its proposed development for the Property.

STANDARDS FOR PLANNED DEVELOPMENTS

A. SPECIAL USE PERMIT STANDARDS

(a) CODE AND PLAN PURPOSES

The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

Applicant proposes to develop the Property into high density multi-family use, specifically Assisted Living. The proposed uses for the Property, complementing the adjacent multi-family Uptown Lagrange, location of the Property near public transportation, providing increased density near public transportation, proposed extension of Shawmut Ave., and improved pedestrian circulation to Gordon Park, are all examples of the how the proposed uses and development of Aspired Living are in keeping with the Comprehensive Plan. In addition, the Comprehensive Plan specifically encourages development of housing options for LaGrange's seniors citizens. The proposed uses are also in harmony with the purposes for which the Code was enacted and for which the regulations of the district were established.

(b) NO UNDUE ADVERSE IMPACT

The proposed use and development will not have a substantial or undue adverse effect upon the adjacent property, the character of the area or the public health, safety, and general welfare.

The proposed use and development will provide a material improvement to the Property and general area. The Property has been underutilized for many years and the slope makes it inappropriate for Park District activities. The proposed uses will be utilized by residents of the Village as well as by family members. The overall design of the proposed uses is in keeping with the character of the area which is improved with commercial uses and high-density multi-family uses. New hardscape improvements will add to public safety and provide a safer pedestrian route to Gordon Park (adjacent to the Property) than currently exists. The proposed uses will have a positive impact on the public health, safety and general welfare as more fully described in this application.



(c) NO INTERFERENCE WITH SURROUNDING DEVELOPMENT

The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of the neighboring property in accordance with the applicable district regulations.

All construction of the improvements for the Property will be coordinated on the Property. Any improvements to be constructed outside the property line or used by the public will be coordinated with the LaGrange Park District, the Village of La Grange, any State agencies or any utility companies in accordance with applicable regulations.

(d) ADEQUATE PUBLIC FACILITIES

The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries and schools, or the applicant will provide adequately for such services.

The Property is surrounded by public roads with access to adjacent utilities and drainage. Additional drainage will be provided on the Property through an underground storm water vault. Police, Fire served the former park site. While Village refuse did not service the site, Aspired Living will contract for private refuse. As part of the agreement with the Village, the Applicant will contribute significant funds at the time of permit issuance for additional emergency services. It should also be noted that the site currently is tax exempt. The Applicant projects annual real estate taxes in excess of \$500,000. The residents of Aspired Living will have no impact on schools and minimal impact on Library or Park resources. In addition, emergency calls to Aspired Living will be substantially fewer than for a similar number of seniors living in individual homes. Aspired Living's twenty-four hour staff and the use of private ambulance services will intercede minor issues that would otherwise result in nuisance calls for emergency services. Aspired Living will include two resident courtyards that provide more than adequate space for outdoor recreation. The proposed unit mix of the project targets seniors in their middle to late eighties. The La Grange Public Library is close proximity to the Property and the proposed uses are not projected to create a material increase in demand for library resources.

(e) NO TRAFFIC CONGESTION

The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

The proposal is not projected to materially increase traffic. Assisted Living residents do not drive and as shown in the Traffic Study, staff and visitor traffic is nominal. Metra's BNSF Railway (an approximate five minute walk) provides access to Chicago's central business district. The Pace Bus System has three bus lines in the immediate vicinity that provide access to O'Hare Airport and the CTA train lines. The location of the Property, especially to Metra, will encourage the use of public transportation instead of commuting by car for staff. According to the Traffic Study in Section 11, none of the uses will cause undue traffic congestion nor draw significant amounts of traffic through residential streets.



(f) NO DESTRUCTION OF SIGNIFICANT FEATURES

The proposed use and development will not result in the destruction, loss or damage of any natural, scenic or historic feature of significant importance.

The Property is not improved with any natural, scenic, or historic feature of significant importance. As part of the development, the Applicant will remove an unsightly and unused storage shed.

(g) COMPLIANCE WITH STANDARDS

The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use. Applicant is requesting the following changes to the existing OS Open Space Zoning:

Change existing OS zoning to R8: Request change to R-8 MULTI FAMILY; proposed use: NURSING & PERSONAL CARE FACILITY.

Planned Development: Request project review under provisions of Ch. XIV, Part V: Planned Developments.

- **Front Yard Setback** – Request the Front Yard setback be reduced from 37 feet (60% of the building height) to 0 feet under Article IV-110.C of the Zoning Code. The Applicant has an easement to use the property immediately south and adjacent to the front property line. This 66'-wide parcel of land will be landscaped and maintained by the Applicant. It provides ample separation from adjacent development, dedicated green space, and pedestrian access to Gordon Park. Improvements include two courtyards as shown on plans. Applicant also proposes to add a landscape feature on the eastern extension of Shawmut allowing public, pedestrian access to Gordon Park.
- **Rear Yard Setback** - Request the Rear Yard setback be reduced to 31'-0" in lieu of 20% lot depth (approx. 37.7') per Article IV-110.C.4 of the Zoning Code. A compliant rear setback can be maintained at the east end of the site; but the site tapers 23 feet in depth from east to west, prohibiting a compliant setback at the west end.
- **Minimum Dwelling Unit Size** – Request the Minimum Dwelling Unit Size for an Efficiency/One-Bedroom Unit be reduced from 650 square feet to approximately 356 square feet per (Article IV-110.D.of the Zoning Code). The size of the proposed efficiency is within the range of what is considered market for an Efficiency in an Assisted Living building.
- **Maximum Building Coverage** - Request the maximum building coverage be increased to 35.4% in lieu of 35% per Article IV-110.E.1 of the Zoning Code. Applicant has maintained a height of 5 stories to fit into the context of the surrounding area, and to be well below height of adjacent condominium tower. Maintaining this height spreads out the overall building program to a larger building coverage.



- **Maximum Total Lot Coverage** - Request that the maximum total lot coverage be increased to 74% in lieu of 60% per Article IV-110.F of the Zoning Code. Applicant has maintained a height of 5 stories to fit into the context of the surrounding area, and to be well below height of adjacent condominium tower. Maintaining this height spreads out the overall building program to a larger lot coverage.
- **Perimeter Landscape Open Space** – Eliminate requirements for 10’-0” deep landscaped buffer around site perimeter as noted in Article IX-104.A. Landscaping and/or hardscaping is planned for perimeter areas except in places of ingress/egress and fire lanes.

B. STANDARDS FOR ALL PLANNED DEVELOPMENTS

(a) UNIFIED OWNERSHIP REQUIRED

The entire property will be in single ownership or under such unified control as to ensure that the entire property will be developed as a unified whole.

The Applicant is the contract purchaser and proposes to develop the entire Property based on the submitted Site Plans (See Section 8).

(b) COVENANTS AND RESTRICTIONS TO BE ENFORCEABLE BY VILLAGE

All covenants, deed restrictions, easements and similar restrictions will be recorded in connection with the planned development may not be modified, removed or released without the express content of the Board of Trustees and that they may enforced by the Village as well as by future landowners within the proposed development.

The Applicant agrees with the sentence above and requests the following easements from the Park District for the Aspired Living development:

- The Park District will provide an easement allowing public access to the extension of Shawmut east of the west property line as proposed in Section 14.
- The Park District will provide and easement for public utilities in the extension of Shawmut Ave as proposed.

C. STANDARDS FOR LARGE PLANNED DEVELOPMENTS

(a) PROTECTED OPEN SPACE

The protected open space must be held in common ownership or by an entity specifically responsible for the care and maintenance of the space. The protected open space also must be (i) held for use by all residents or other occupants of the development or (ii) dedicated to, and accepted by the Village of La Grange, the Park District of La Grange, a school district, or another public entity as permanent common open areas for parks, recreation and/or related public uses.

Applicant proposes to improve a portion of the Property with two courtyards as shown on plans. Applicant also proposes to add a landscape feature on the eastern extension of Shawmut allowing public, pedestrian access to Gordon Park. The applicant shall also improve the eastern extension



of Shawmut, built to Village standards, with sidewalks on the north and south sides to connect to the extension connecting to Gordon Park.

The Landscape Plan as currently proposed for Aspired Living will be maintained by Applicant (or future owner) for landscape both inside and outside the property line (maintenance to be further defined in the Development Agreement).

(b) LANDSCAPING AND PERIMETER

Any area of a planned development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening or natural or man-made buffers.

Applicant has proposed improving the approximately 2.82 acres of land with landscape features throughout the Property in areas that are not improved with structures and/or vehicular and pedestrian circulation and parking. The landscape plan (See Section 8) is intended to be compatible with the surrounding uses and improve the aesthetics of the overall area.

(c) PRIVATE STREETS

Private streets are prohibited unless expressly approved by the Board of Trustees. If so approved, they shall meet all construction standards applicable to public streets. No such streets shall be approved except upon the condition that they shall be owned and maintained by a hospital or by a property owners association meeting the requirements set forth in this Section.

Applicant has not proposed any private streets for this proposed development.

(d) PEDESTRIAN CIRCULATION SYSTEM

Describe the proposed pedestrian circulation system including appropriate walkways, paths, trails, passageways and other means of movement into, out of and throughout the development and including private or public sidewalks meeting the standards of the La Grange Subdivision Code on both sides of every street in or abutting the project.

Applicant proposes sidewalks along the Shawmut extension and continuing through the landscape portion of Shawmut extension providing access to Gordon Park. The proposed pedestrian circulation will serve the general public.

(e) UTILITIES

All utility lines shall be installed underground.

Applicant shall install all utility lines underground.



(f) COMPENSATING AMENITIES

Describe all proposed compensating amenities. Applicant will provide the following compensation amenities:

Applicant will only be required to complete the following as part of the development of Aspired Living, with such improvements (if needed) being dedicated to and accepted by the Village. A development agreement to be negotiated between the Applicant and the Village will include a provision(s) requiring the Applicant to provide only the following Compensating Amenities:

- **Shawmut Extension** - The Applicant will construct an extension of Shawmut Avenue on Park District property from the western end of the Property line to the eastern terminus as defined on the plans in Section 8. Applicant will be responsible for on-going maintenance of the extension, adjacent sidewalks and landscaping. The extension shall meet Village standards.
- **Sidewalk Connectivity** – The Applicant, with Park District permission, will construct a landscaped pedestrian access from the western end of the Shawmut Ave. extension to Gordon Park. The extension will terminate in a formal park entrance to be designed with the Park District.
- **Streetscape Amenities** – Pedestrian style light fixtures and street trees will be included in the Shawmut Ave. extension to match the Village’s current streetscape initiative.
- **Overhead Utility Lines** – The applicant will bury all overhead utility line occurring on the property.
- **Water Main under Shawmut Avenue Extension** – Applicant to remove and replace existing water main under Shawmut Avenue extension with a new 12” water main from the intersection located at the northwest edge of Locust Avenue Parking Lot across the proposed site to the utility easement and existing manhole on the east side of LaGrange Road (approximately 700lf). Disturbed area to be restored to match existing conditions.
- **Maintenance of Building and Outdoor Public Spaces Covenant**– The owner will maintain the exterior of the building, exterior common spaces, and outdoor public spaces on the owner’s tract in good order, condition, and repair. The Village has the right to enforce the covenant; covenant cannot be altered without Village consent.
- **Cash Contribution** – The Applicant will contribute cash to the following, payable to the Village upon Building Permit issuance:
 - \$120,000 towards the Fire Department to offset the impact of additional services
 - \$50,000 towards a new ambulance
 - \$90,000 towards the Police Department to offset the impact of additional services
 - \$200,000 towards the Ogden Avenue Relief Sewer (OARS) fund



APPLICATION FOR AMENDMENTS

Application # _____
Date Filed: 1/0/16
UARCO No.: 6684

TO THE PRESIDENT AND BOARD OF TRUSTEES
VILLAGE OF LA GRANGE, ILLINOIS

(please type or print)

Application is hereby made by Pathway Development Partners, LLC

Address: 333 W. Wacker, Ste 1010, Chicago, IL 60606 Phone No. 312-837-0701

Owner of property located at:

Permanent Real Estate Index No: 18-04-200-051-0000, 18-04-200-049-0000

as set forth by plat of survey attached hereto.

(1) REZONING FROM OS (open space) TO R-8 (multifamily)

(2) AMENDMENT (other than rezoning) OF THE ZONING ORDINANCE, as follows:

(Indicate Article, Section, etc. where applicable) _____

See Attached

(3) PURPOSE of rezoning/amendment: _____

See Attached

STANDARDS: The petitioner should state reasons and submit any pertinent evidence to support the following factors:

(1) The consistency of the proposed amendment with the purposes of this code.

See Attached

(2) Community need for proposed use. The community need for the proposed amendment and the uses and development it would allow.

See Attached

(3) The following standards related to a particular property:

(a) Existing Uses and Zoning. The existing uses and zoning classifications of properties in the vicinity of the subject property. _____

See Attached

(b) Trend of Development. The trend of development in the vicinity of the subject property, including changes, if any, in such trend since the subject property was placed in its present plan designation or zoning classification. _____

See Attached

(c) Adverse Impact on Subject Property Value. The extent to which the value of the subject property is diminished by the existing plan designation or zoning classification applicable to it.

see Attached

(d) Presence or Absence of Offsetting Public Benefit. The extent to which such diminution in value is offset by an increase in the public health, safety, and welfare. _____

See Attached

(e) Suitability for Use as Currently Zoned. The suitability of the subject property for uses permitted or permissible under its present plan designation and zoning classification. _____

See Attached

(f) Lack of Development as Zoned. The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property. _____

See Attached

* * *

NOTICE: This application must be filed with the office of the Community Development Director, accompanied by necessary data called for above and the required filing fee escrow a minimum of thirty days in advance of the public hearing date.

The escrow for the application is \$1,500.00. Should the funds in escrow fall below \$300 the Village will request that the applicant replenish the escrow funds prior to further processing of said application.

The above filing fee and escrow shall be payable at the time of the filing of such request. Any funds remaining in escrow will be returned to the applicant after the Village Board approval and all staff and consultant work is completed.

The above minimum fee shall be payable at the time of the filing of such request. It is also understood that the applicant shall reimburse the village any additional costs over and above these minimums, which are incurred by the Village, including but not limited to the following:

- (a) Legal Publication (direct cost);
- (b) Recording Secretarial Services (direct costs);
- (c) Court Reporter (direct cost);
- (d) Administrative Review and Preparation (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (e) Document Preparation and Review (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (f) Professional and Technical Consultant Services (direct cost);
- (g) Legal Review, Consultation and Advice (direct cost);
- (h) Copy Reproduction (direct cost);
- (i) Document Recordation (direct cost); and
- (j) Postage Costs (direct cost).

I, the undersigned, do hereby certify that I am the owner or contract purchaser (evidence of title or other interest you have in the subject property, date of acquisition of such interest and the specific nature of such interest must be submitted with application) and do hereby certify that the above statements are true and correct to the best of my knowledge. I also acknowledge that Village staff will prepare a report with a recommendation to the Plan Commission prior to my

hearing. I understand that this report will be available for my viewing the Friday prior to my hearing and it is my responsibility to contact the Village to view this report or obtain a copy.

(Name) Robert H. Hill
IL 60606 Chicago (City)

(State) (Zip Code)

(Address) 333 W Wacker Dr., Suite 1010

SUBSCRIBED AND SWORN TO BEFORE ME THIS

7th DAY OF January, 2014.

Lindsay M. Pinkston
NOTARY PUBLIC



PLACE SEAL HERE

(FOR VILLAGE USE ONLY)

1. Filed with Office of the Community Development Director: _____, 20____.
2. Transmitted to Plan Commission at their meeting held:
3. Continuation (if any):
4. Notice of hearing published in: _____ on:
5. Findings and Recommendations of Plan Commission referred to Village Board at meeting of _____
6. Final action of Village Board for adoption of amending ordinances or denial of applicant's request at meeting held: _____
7. Payment of expenses satisfied:

REMARKS:

OWNER OF PROPERTY/PERMISSION TO SEEK GOVERNMENT APPROVALS

The Applicant is the contract purchaser for the Property. The Applicant intends to contribute the Property and all agreements relating thereto to a to-be formed special purpose entity.

The property is currently owned by the LaGrange Park District. The Purchase and Sale agreement between the Applicant and the Park District allows the Applicant to work with the Village of La Grange to seek Government approvals for its proposed development for the Property.

1) REZONING

Rezoning of Property from OS (Open Space) to R-8 (Multifamily) specifically Nursing and Personal Care Facility.

2) AMENDMENT

No amendments other than the rezoning noted above

3) PURPOSE

The purpose of the rezone is to allow a residential use, specifically Nursing and Personal Care Facility as proposed in the Application for Site Plan Approval. A Nursing and Personal Care Facility is a Special Use in an R-8 zoning district. Aspired Living will be licensed as an Assisted Living/Shared Housing Establishment governed by Illinois Department of Public Health (IDPH).

STANDARDS

1. *The consistency of the proposed amendment with the purpose of this code:*

The purpose of the rezoning Property follows the guidelines of the Comprehensive Plan which outlines a housing need for seniors. The rezoning assists with maintaining a rational pattern of land uses, encourages compatibility between different land uses, protects the scale of character of the existing area, and secures adequate natural light, a safe environment and convenient access to property.

2. *Community need for proposed use:*

The proposed rezoning will allow alternative housing options for its seniors. The proposed Aspire Living project is designed to be transit friendly, enhances the pedestrian experience along Shawmut Ave, enhances the appearance of the area, and strengthens the economy of The Village through new real estate taxes (the Property is currently tax exempt). Aspired Living aligns with the need of providing housing alternatives for its seniors outlined in the Village's Comprehensive Plan. Approximately 490 seniors are in need of assisted living services currently not residing in an assisted living setting in La Grange and the immediate area. Another 314 seniors are in need of Alzheimer's care currently not cared for in an assisted living community (Section 12).

3. *The following standards related to a particular property:*

- a. *Existing uses and Zoning. The existing uses and zoning classifications of properties in the vicinity of the subject property.*



The Property is surrounded by R-8, C-3, or OS zoning. Existing uses include:

- North: La Grange Park
- East: Gordon Park currently zoned as OS.
- South: Uptown La Grange (Residential Component comprises of a 5-story apartment building, approximately 68' feet in height and the Retail Component includes 9,200 square feet). This use is zoned R-8 and C-3.
- West: La Grange Tower (10-story condominium building, approximately 100 feet in height). This use is zoned R-8.

- b. *Trend of Development. The trend of development in the vicinity of the subject property, including changes, if any, in such trend since the subject property was placed in its present plan designation or zoning classification.*

The trend of development in the vicinity includes addition of commercial uses as well as high-density residential to the south. The area further south of the Property in particular is a vibrant downtown area, close to the BNSF Metra Train Stop (providing service to downtown Chicago) with a variety of restaurants, coffee shops, ice cream, clothing stores, grocery stores and entertainment as well as residential uses at grade or above retail. In addition, the La Grange Park District continues to improve Gordon Park to the east of the Property.

- c. *Adverse Impact on Subject Property Value. The extent to which the value of the subject property is diminished by the existing plan designation or zoning classification applicable to.*

The value from an economic standpoint is significantly diminished by the OS zoning classification. The value would be materially improved with a rezoning to an R-8 zoning classification with proposed approved uses. It should be noted the Property is currently vacant and under utilized.

- d. *Presence or Absence of Offsetting Public Benefit. The extent to which such diminution in value is offset by an increase in public health, safety and welfare.*

The diminishment in value of the Property as OS also diminishes the public health, safety and welfare. The Property is currently under utilized land with mostly green space and asphalt that is not maintained.

- e. *Suitability for Use as Currently zoned. The suitability of the subject property for uses permitted or permissible under its present plan designation and zoning classification.*

The Property as currently improved is not suitable for its present zoning of OS. Significant investment would be required to improve the Property with a permitted use under the OS zoning. Additionally, a portion of the Property has a sloping topography



that could be challenging to improve with a Permitted Use. The proposed sale by the La Grange Park District is an indication the land is no longer conducive for OS purposes. The Property is suitable for its planned designation based on the Comprehensive Plan as well as by the development of commercial and residential uses that surround the Property.

- f. Lack of Development as Zoned. The length of time, if any, that the subject property has been vacant, considered in context of the pace of development in the vicinity of the subject property.*

The Property has been under utilized park district land for many years. The Uptown La Grange project, currently under construction, occupies a site that has not been used since 2006 and has been vacant since the second half of 2010.



DESIGN REVIEW PERMIT APPLICATION

Case No.: _____
Date Submitted: 11/8/16
UARCO No.: 6684

**TO THE PRESIDENT AND BOARD OF TRUSTEES
VILLAGE OF LA GRANGE, ILLINOIS**

Application is hereby made by (Please Print): Pathway Development Partners, LLC
Address: 333 W. Wacker Dr., Ste 1010, Chicago, IL 60606 Phone: 312-837-0701
Owner of property located at: 35 Shawmut Ave., La Grange, IL 60525
Permanent Real Estate Index No.: 18-04-200-051-000 , 18-04-200-049-0000
Present Use: Vacant Present Zoning Class: OS (open space)

PLAT OF SURVEY must be submitted with application. The plat should show any existing buildings on the petitioned property as well as any existing buildings on property immediately adjacent.

The applicant must provide the following DATA AND INFORMATION:

1. Detailed plans depicting all work proposed to be done, including detailed renderings of any exterior alterations and of the exterior of any proposed new building. Such rendering shall show proposed exterior colors and textures.
2. Standards and Considerations. State how the proposed use or development achieves the purposes for which the Design Review District is designated.

See Attached

3. Visual Compatibility. New and existing buildings and structures, and appurtenances thereof, which are constructed, reconstructed, materially altered, repaired, or moved shall be visually compatible in terms of the following criteria:
 - a. Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
 - b. Proportion of Front Facade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
 - c. Proportion of Openings. The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and place to which the building is visually related.
 - d. Rhythm of Solids to Voids in front Facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
 - e. Rhythm of Spacing and Buildings on Streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
 - f. Rhythm of Entrance Porch and Other Projections. The relationship of entrances to other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
 - g. Relationship of Materials, Texture and Color. The relationship of the materials, texture, and color of the facade shall be visually compatible with the predominant materials used in the buildings and structure to which it is visually related.

- h. Roof Shapes. The roof shape of a building shall be visually compatible with the building to which it is visually related.
 - i. Walls of Continuity. Building facade and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.
 - j. Scale of Building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies, shall be visually compatible with the buildings, public ways, and places to which they are visually related.
 - k. Directional Expression of Front Elevation. A building shall be visually compatible with the buildings, public ways, and places to which it is visually related in this directional character, whether this be vertical character, horizontal character, or non-directional character.
4. Quality of Design and Site Development. New and existing buildings and structures and appurtenances thereof which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following quality of design and site development criteria:
- a. Open Spaces The quality of the open spaces between buildings and in setback spaces between street and facade.
 - b. Materials The quality of materials and their relationship to those in existing adjacent structures.
 - c. General Design The quality of the design in general and its relationship to the overall character of the neighborhood.
 - d. General Site Development The quality of the site development in terms of landscaping, recreation, pedestrian access, automobile access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

NOTICE: This application must be filed with the office of the Community Development Director, accompanied by necessary data called for above and the required filing fee of Two Hundred Dollars (\$200), which is non-refundable.

The minimum fee shall be payable at the time of the filing of such request. It is also understood that the applicant shall reimburse the Village, any additional costs over and above these minimums which are incurred by the Village. Such additional costs shall be paid by the applicant prior to the Board of Trustees making a decision regarding the request.

I, undersigned, do hereby certify that I am the owner, or contract purchaser (evidence of title or other interest you have in the subject property, date of acquisition of such interest, and the specific nature of such interest must be submitted with application) do hereby certify that the above statements are true and correct to the best of my knowledge.

Robert M. Kelly 333 W. Wacker Dr., Suite 1010
Purchaser) (Address) (Signature of Owner or Contract

IL 60606 Chicago
(State) (Zip Code) (City)

Subscribed and sworn to before me this 8th day of January, 2016

Linda L. Sylverne
(Notary Public)

(Seal)



Enclosures: _____

OWNER OF PROPERTY/PERMISSION TO SEEK GOVERNMENT APPROVALS

The Applicant is the contract purchaser for the Property. The Applicant intends to contribute the Property and all agreements relating thereto to a to-be formed special purpose entity.

The property is currently owned by the LaGrange Park District. The Purchase and Sale agreement between the Applicant and the Park District allows the Applicant to work with the Village of La Grange to seek Government approvals for its proposed development for the Property.

STANDARDS AND CONSIDERATION

Aspired Living of La Grange's proposed use of Assisted Living achieves the following public purposes:

- **Special Character** – Aspired Living will enhance the surrounding area through the improvement of vacant land and provide new improvements to the Village. Aspired Living is designed to harmonize with the surrounding area and community.
- **Local Atmosphere** – Aspired Living will be a mid-rise project to better fit with the scale of surrounding area, and bring a diverse set of uses in accordance with the Comprehensive Plan. It will also provide a needed housing option for Village seniors, enhancing the multi-generational character of LaGrange.
- **Compatibility** – Aspired Living's uses of Assisted Living are compatible with the immediate surrounding uses (zoned C-3 and R-8). Aspired Living's architecture is also compatible with the surrounding area and with adjacent development.
- **Attractiveness** – Aspired Living will provide a significant improvement to the aesthetics of the current Property and will bring a revived sense of place to the area.
- **Strong Economy** – Aspired Living will provide the benefit of real estate taxes from a previous exempt tax parcel.
- **Education, Pleasure and Welfare** – Aspired Living will provide improved pedestrian access along the extension of Shawmut Avenue between La Grange Road and Gordon Park.

VISUAL COMPATIBILITY

Aspired Living is visually compatible in terms of the following criteria:

- **Height** – The height of Aspired Living (5-story Assisted Living Component and single memory care wing) is compatible with the surrounding R-8 uses (7-story and 10-story condominiums) and C-3 uses (5-story Uptown, residential/commercial development).
- **Proportion of Front Façade** – The relationship of the width to the height of the Assisted Living component of Aspired Living is visually compatible with Beacon Place (South Side of East Ogden Avenue) as well as the new Uptown La Grange development. The single story memory care wing is visually compatible with the adjacent parking garage of the adjacent condo tower to the West and the proposed single story commercial component of the new Uptown La Grange development to the South. The main entry of the development faces south and is centered on a cul-de-sac, offering drop-off/pick-up opportunities for residents, and provides a sense of place; welcoming residents and visitors into Aspired Living.



- **Proportion of Openings** – The relationship of width to height of windows of Aspired Living is visually compatible with Beacon Place (South Side of East Ogden Avenue) as well as the new Uptown development buildings. The windows are proportioned to allow for natural light into the buildings while maintaining good rhythm and human scaled character on the exterior. Living rooms are provided with full-view sliding glass doors and Juliet balconies, maximizing natural light and views. South and west facing windows are provided with shading devices, providing natural sun shading.
- **Rhythm of Solids to Voids in Front Facades** – The relationship of solids to voids in the front façade of Aspired Living is visually compatible with Beacon Place (South Side of East Ogden Avenue) as well as the new Uptown La Grange development. Large full-view sliding glass doors adorn the primary living spaces and bring natural daylight into the interior of the residential units. The use of Juliet balconies brings added dimension to the façade.
- **Rhythm of Spacing and Buildings on Streets** – The relationship of Aspired Living to open space between buildings is visually compatible with Beacon Place (South Side of East Ogden Avenue) as well as the new Uptown La Grange development. The south façade in particular is broken up by a large landscaped courtyard, brick site wall, and columned front porch surrounding the entry rotunda. This is consistent with the building rhythm seen in the Uptown La Grange development. The courtyard also brings a park-like feel to the development; and with the extension of the Shawmut Avenue pedestrian walk, extends the open space from Gordon Park to the west.
- **Relationship of Materials, Textures, Colors and Scale**– The relationships of materials, texture, colors and scale of the façade of Aspired Living is visually compatible with Beacon Place (South Side of East Ogden Avenue) as well as the Uptown La Grange development. Brick, horizontal siding, stucco and metal design elements are used in the building’s façade. The first four floors of the Assisted Living component are clad in brick masonry, alternating with projecting bays of horizontal fiber cement siding. The rhythm of projecting bays breaks down the building’s five-story massing, providing a comfortable human scale. Portions of the fifth floor or attic story of the Assisted Living component are clad in stucco. The Assisted Living component’s cornice serves as a cap to the building, and is compatible with the adjacent Uptown development. The single story memory care wing uses the same materials: brick, horizontal siding, and stucco. It also contains several areas with upper clerestory windows, shaded by deep metal-clad cornices. This top-lighting design floods the interior of specific social spaces, and varies the height of the single story component from the street.
- **Roof Shape** - Aspired Living employs flat roofs and projecting cornices in a compatible fashion to the new Uptown development immediately south of Shawmut Ave., across from the Aspired Living’s front entrance.
- **Walls of Continuity** – The one-story memory care wing and a brick landscape wall/fence form a cohesive wall of enclosure along the Shawmut Ave. frontage, creating visual compatibility with the buildings, public ways and adjacent development.

QUALITY OF DESIGN AND SITE DEVELOPMENT

Aspired Living is evaluated under the following quality of design and site development criteria:



- **Open Spaces** – Aspired Living will provide perimeter landscape/hardscape around the entire Property. In particular, the Assisted Living component is designed as a backdrop to a 100 x 100' exterior courtyard opening to the extension of Shawmut Ave. and the front entrance. This area provides an expanse of open space for pedestrian activity. Landscape improvements at the west and east sides of the development provide additional beautification bordering the condominium tower to the west, and Gordon Park to the east. The extension of Shawmut Ave. will be landscaped along our access drive, cul-de-sac and pedestrian connection to Gordon Park.
- **Materials** – The use of brick in particular mirrors materials used in the surrounding area. Other materials such as the cast stone, horizontal siding, cornices at the roofline, and moderation in heights echo materials and design used in nearby residential areas.
- **General Design** – Aspired Living is designed to fit into the context of the surrounding area and community. Its low scale design, use of local materials, inclusion of permanent open space, and incorporation of connections to important public amenities make the development harmonize with the surrounding uses and enhance the overall character of the neighborhood.
- **General Site Development** – Aspired Living provides hardscape/landscape throughout the Property and improved pedestrian access between La Grange Road and Gordon Park. Traffic generated at Aspired Living is projected to have a minimum impact on vehicular traffic patterns in accordance with the Traffic Study. Our parking area is immediately adjacent to the front entrance, and will be internally landscaped and provided with perimeter landscape screening. The Property contains minimal existing landscaping on site. Applicant will, to the extent possible, protect and reuse any existing landscape materials that will add to the quality of the site development.



Village of La Grange

53 S. La Grange Road, La Grange, IL 60525
Phone (708) 579-2320 Fax (708) 579-0980

SPECIAL USE APPLICATION

TO THE PRESIDENT AND
BOARD OF TRUSTEES
VILLAGE OF LA GRANGE

Application No.:
Date Filed: 11/8/16
UARCO No.: 6684

(Please Type or Print)

Application is hereby made by Pathway Development Partners, LLC

Address: 333 W. Wacker Dr., Ste 1010, Chicago, IL 60606 Phone: 312-837-0701

Owner of property located at: 35 Shawmut Ave., La Grange, IL 60525

Permanent Real Estate Index No.: 18-04-200-051-0000, 18-04-200-049-0000
as set forth by plat of survey attached hereto

Present Zoning Classification: OS (open space)

PROPOSED SPECIAL USE: See attached

(Specify from list of allowable Special Uses pursuant to the Zoning Ordinance of the Village of La Grange)

GENERAL STANDARDS: The petitioner should state FACTS AND REASONS and submit any pertinent evidence establishing each of the following principles:

- (a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

See attached

- (b) No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

See attached

- (c) No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

See attached

- (d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

See attached

- (e) No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

See attached

- (f) No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

See attached

- (g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

See attached

NOTICE: This application must be filed with the office of the Community Development Director together with seventeen (17) 11 x 17 or 8 ½ x 11 copies of any required drawings, plats of survey, etc., and an electronic copy if available, the necessary data called for above and the required filing fee escrow a minimum of thirty days in advance of the public hearing date. The escrow will be utilized to cover all costs incurred by the Village as outlined in Paragraph 14-101D2 of the Zoning Code:

- (a) Legal Publication (direct cost);
- (b) Recording Secretarial Services (direct cost);
- (c) Court Reporter (direct cost);
- (d) Administrative Review and Preparation (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (e) Document Preparation and Review (hourly salary times a multiplier sufficient to recover 100 percent of the direct and indirect cost of such service);
- (f) Professional and Technical Consultant Services (direct cost);
- (g) Legal Review, Consultation, and Advice (direct cost);
- (h) Copy Reproduction (direct cost); and
- (i) Document Recordation (direct cost); and
- (j) Postage Costs (direct cost).

The escrow for the application is as follows:

Special Use Application - \$1,500

Should the funds in escrow fall below \$300, the Village will request that the applicant replenish the escrow fund prior to further processing of said application.

The above filing fee and escrow shall be payable at the time of the filing of such request. Any funds remaining in escrow will be returned to the applicant after Village Board approval and all staff and consultant work is completed.

I, the undersigned, do hereby certify that I am the owner or contract purchaser (Evidence of title or other interest you have in the subject property, date of acquisition of such interest and the specific nature of such interest must be submitted with application) and do hereby certify that the above statements are true and correct to the best of my knowledge. I also acknowledge that Village staff will prepare a report with a recommendation to the Plan Commission prior to my hearing. I understand that this report will be available for my viewing the Friday prior to my hearing and it is my responsibility to contact the Village to view this report or obtain a copy.


(Signature of Owner or Contract Purchaser)

(Address) 333 W. Wacker Dr., Ste. 1010

(City) Chicago

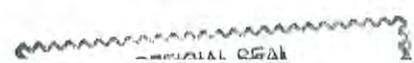
(State) IL

(Zip Code) 60606

SUBSCRIBED AND SWORN TO BEFORE ME THIS

8th DAY OF January, 2016.


NOTARY PUBLIC



(FOR VILLAGE USE ONLY)

1. Filed with the office of the Community Development Director _____, 20_____
2. Transmitted to Plan Commission at their meeting held: _____
3. Continuation (if any): _____
4. Notice of hearing published in: _____ on: _____
5. Findings and Recommendations of Plan Commission referred to Village Board at meeting of:

6. Final action of Village Board for adoption of amending ordinances or denial of applicant's request at meeting held: _____
7. Payment of expenses satisfied: _____

REMARKS:

OWNER OF PROPERTY/PERMISSION TO SEEK GOVERNMENT APPROVALS

The Applicant is the contract purchaser for the Property. The Applicant intends to contribute the Property and all agreements relating thereto to a to-be formed special purpose entity.

The property is currently owned by the LaGrange Park District. The Purchase and Sale agreement between the Applicant and the Park District allows the Applicant to work with the Village of La Grange to seek Government approvals for its proposed development for the Property.

PROPOSED SPECIAL USE

Applicant is seeking a Proposed Special Use for an Assisted Living community within an R-8 zoning district. A Nursing & Personal Care Facility is permitted as Special Use under Article IV-106.B.

GENERAL STANDARDS

(a) CODE AND PLAN PURPOSES

The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

Applicant proposes to develop the Property into high density multi-family use, specifically Assisted Living. The proposed uses for the Property, complementing the adjacent multi-family Uptown La Grange, location of the Property near public transportation, providing increased density near public transportation, proposed extension of Shawmut Ave to the eastern portion of our property, and improved pedestrian circulation to Gordon Park, are all examples of the how the proposed uses and development of Aspired Living are in keeping with the Comprehensive Plan. In addition, the Comprehensive Plan specifically encourages development of housing options for seniors in LaGrange. The proposed uses are also in harmony with the purposes for which the Code was enacted and for which the regulations of the district were established.

(b) NO UNDUE ADVERSE IMPACT

The proposed use and development will not have a substantial or undue adverse effect upon the adjacent property, the character of the area or the public health, safety, and general welfare.

The proposed use and development will provide a material improvement to the Property and general area. The Property has been underutilized for many years and the slope makes it inappropriate for Park District activities. The proposed uses will be utilized by residents of the Village as well as by family members.. The overall design of the proposed uses is in keeping with the character of the area which is improved with commercial uses and high-density multi-family uses. New hardscape improvements will add to public safety and provide a safer route to Gordon Park (adjacent to the Property) than currently exists. The proposed uses will have a positive impact on the public health, safety and general welfare as more fully described in this application.



(c) NO INTERFERENCE WITH SURROUNDING DEVELOPMENT

The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of the neighboring property in accordance with the applicable district regulations.

All construction of the improvements for the Property will be coordinated on the Property. Any improvements to be constructed outside the property line or used by the public will be coordinated with the LaGrange Park District, the Village of La Grange, any State agencies or any utility companies in accordance with applicable regulations.

(d) ADEQUATE PUBLIC FACILITIES

The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries and schools, or the applicant will provide adequately for such services.

The Property is surrounded by public roads with access to adjacent utilities and drainage. Additional drainage will be provided on the Property through an underground storm water vault. Police, Fire served the former park site. While Village refuse did not service the site, Aspired Living will contract for private refuse. As part of the agreement with the Village, the Applicant will contribute significant funds for additional Police and Fire services. It should also be noted that the site currently is tax exempt. The Applicant projects annual real estate taxes in excess of \$500,000. The residents of Aspired Living will have no impact on schools and minimal impact on Library or Park resources. In addition, emergency calls to Aspired Living will be substantially fewer than for a similar number of seniors living in individual homes. The twenty-four hour staff of Aspired Living will intercede in minor issues that would otherwise result in nuisance calls for emergency services. Aspired Living will include two resident courtyards that provide more than adequate space for outdoor recreation. The proposed unit mix of the project targets seniors in their middle to late eighties. The La Grange Public Library is close to the Property and the proposed uses are not projected to create a material increase in demand for library resources.

(e) NO TRAFFIC CONGESTION

The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

The proposal is not projected to materially increase traffic. Assisted Living residents do not drive and as shown in the Traffic Study, staff and visitor traffic is nominal. Metra's BNSF Railway (approximate five minute walk) provides access to Chicago's Central Business District. The Pace Bus System has three bus lines in the immediate vicinity that provide access to O'Hare Airport and CTA train lines. The location of the Property, especially to Metra will encourage the use of public transportation instead of commuting by car for staff. According to the Traffic Study in Section 11, none of the uses will cause undue traffic congestion nor draw significant amounts of traffic through residential streets.



(f) NO DESTRUCTION OF SIGNIFICANT FEATURES

The proposed use and development will not result in the destruction, loss or damage of any natural, scenic or historic feature of significant importance.

The Property is not improved with any natural, scenic, or historic feature of significant importance. As part of the development, the Applicant will remove an unsightly and unused storage shed.

(g) COMPLIANCE WITH STANDARDS

The proposed used and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

The proposed Special Use will comply with the additional standards imposed on it by provisions of the Code and the terms of the Planned Development Ordinance which is being reviewed concurrently with this application. The proposed Special Use will be subject to final design review by The Village as well as submission of a traffic study that examines vehicular circulation through the area of the Property dedicated to the Proposed Special Use.

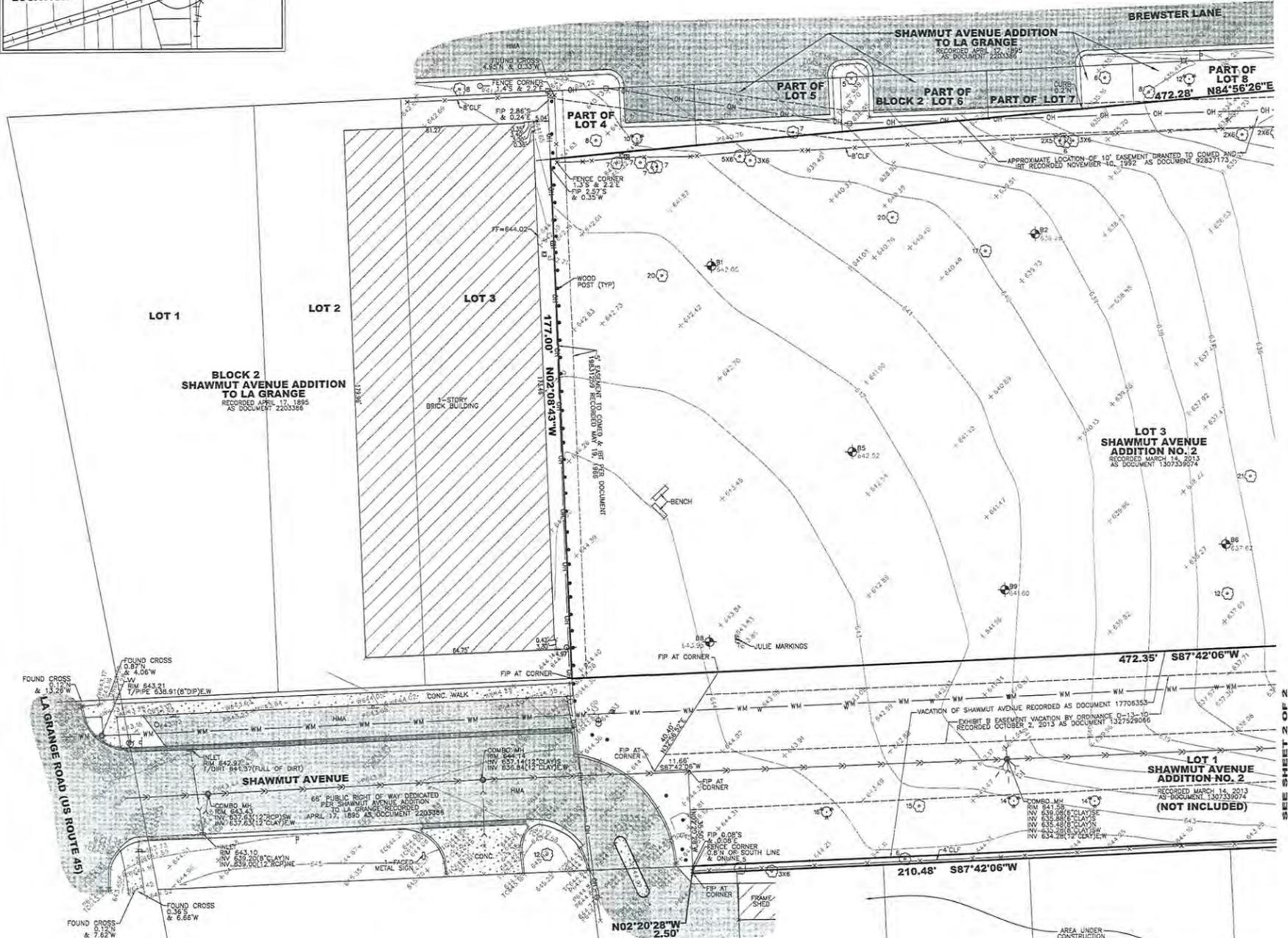
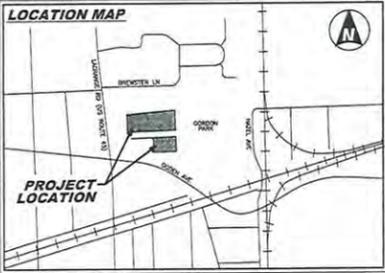
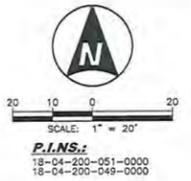


ALTA/ACSM LAND TITLE SURVEY

PROPERTY DESCRIPTION:

LOTS 2 AND 3 IN SHAWMUT AVENUE ADDITION NO. 2, A SUBDIVISION OF A PART OF VACATED SHAWMUT AVENUE (VACATED BY DOCUMENT 17706352) AND PARTS OF BLOCKS 2 AND 3 IN SHAWMUT AVENUE ADDITION TO LA GRANGE, A SUBDIVISION IN THE NORTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 2013 AS DOCUMENT 1307339074, IN COOK COUNTY, ILLINOIS.

AREA:
 122,972 SQ. FT.
 2.823 AC.



- LEGEND:**
- SANITARY SEWER
 - STORM SEWER
 - COMBINED SEWER
 - WATER MAIN
 - CABLE TV LINE
 - GAS LINE
 - TELEPHONE LINE
 - OVERHEAD WIRE
 - FENCE
 - GUARDRAIL
 - BUSH LINE
 - TREE LINE
 - MANHOLE (SMH/SAMH)
 - CATCH BASIN (CB)
 - INLET (NL)
 - FLARED END SECTION (FES)
 - VALVE VAULT (V)
 - VALVE BOX (VB)
 - BUFFALO BOX (BB)
 - FIRE HYDRANT (FH)
 - AUXILIARY VALVE (AV)
 - CLEANOUT (CO)
 - SCLAR (SCL)
 - GAS VALVE (GV)
 - ELECTRIC MANHOLE (EMH)
 - TELEPHONE MANHOLE (TMH)
 - HANDHOLE (HH)
 - LIGHT (L)
 - GROUND LIGHT (GLT)
 - POWER POLE (PP)
 - GUY WIRE (GW)
 - CABLE PEDESTAL (PCD)
 - ELECTRIC PEDESTAL (PED)
 - TELEPHONE PEDESTAL (PTD)
 - TRANSFORMER
 - SIGN
 - SOIL BORING
 - MAILBOX (MB)
 - DECIDUOUS TREE (SIZE IN INCHES)
 - CONIFEROUS TREE (SIZE IN INCHES)
 - BUSH
 - CONTOUR LINE
 - SPOT ELEVATION
 - PAVEMENT ELEVATION
 - TOP OF CURB ELEVATION
 - TOP OF DEPRESSED CURB ELEVATION
 - WALK ELEVATION
 - CHAIN LINK FENCE
 - ACU
 - AIR CONDITIONER UNIT
 - D/P
 - DUCTILE IRON PIPE
 - ELECTRIC METER
 - FINISHED FLOOR
 - GARAGE FLOOR
 - CAR/F
 - GF
 - GRADE AT FOUNDATION
 - GAS METER
 - HMA
 - HOT MIX ASPHALT
 - PVC
 - POLYVINYL CHLORIDE PIPE
 - (R)
 - RECORD
 - RCP
 - REINFORCED CONCRETE PIPE
 - SAN
 - SANITARY
 - T/F
 - TOP OF FOUNDATION
 - T/P
 - TOP OF PIPE
 - T/WALL
 - TOP OF WALL
 - TRANS
 - TRANSFORMER
 - CONCRETE (CONC)
 - HOT MIX ASPHALT (HMA)
 - BUILDING
 - BARRIER CURB
 - 6 1/2 CURB & GUTTER
 - DEPRESSED CURB

SURVEYOR'S NOTES:

- THIS SURVEY IS BASED IN PART ON INFORMATION CONTAINED IN COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER 2077933 WITH AN EFFECTIVE DATE OF JULY 30, 2015 AND HAS BEEN USED FOR THE LEGAL DESCRIPTION AND APPLICABLE EXCEPTIONS TO TITLE.
- TITLE EXCEPTION 18 (PROPERTY SUBJECT TO EASEMENT IN FAVOR OF COMMONWEALTH EDISON COMPANY AND ILLINOIS BELL TELEPHONE COMPANY FOR POLE AND CONDUIT AND MAINTENANCE PURPOSES GRANTED BY DOCUMENT 1831259 RECORDED ON MAY 19, 1946 AND THE TERMS AND CONDITIONS THEREOF, SHOWN HEREON—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 19 (PROPERTY SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN THE GUT CLAIM DEED RECORDED AS DOCUMENT 1831259 AND AMENDMENTS HERETO, RELATING TO, AMONG OTHER THINGS, CONSTRUCTION, MAINTENANCE AND REPAIR OF UTILITIES, DOCUMENT RESERVED RIGHTS IN STREETS INCLUDING SHAWMUT AVENUE—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 20 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 1974-3 ESTABLISHING THE SYSTEM OF THE LAGRANGE HIGHLANDS SANITARY DISTRICT RECORDED OCTOBER 11, 1974 AS DOCUMENT 22875576, UNPLOTTABLE—BLANKET IN NATURE—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 21 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 0-83-13 ESTABLISHING WASTEWATER SERVICE CHARGE, RECORDED APRIL 9, 1983 AS DOCUMENT 2693208, UNPLOTTABLE—BLANKET IN NATURE—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 22 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 0-86-11 AMENDING ORDINANCE NO. 0-70-11, RECORDED MAY 1, 1986 AS DOCUMENT 86197290, UNPLOTTABLE—BLANKET IN NATURE—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 23 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 0-86-65 RELATING TO A SERVICE AGREEMENT FOR U.S. SPRINT COMMUNICATIONS LIMITED PARTNERSHIP, RECORDED NOVEMBER 4, 1991 AS DOCUMENT 61576321, UNPLOTTABLE—BLANKET IN NATURE, GRANTS RIGHTS FOR FACILITIES IN ALL PUBLIC WAYS, SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 24 (PROPERTY SUBJECT TO EASEMENTS FOR UTILITIES AS SHOWN ON THE GRANT OF EASEMENT TO COMMONWEALTH EDISON COMPANY AND PLYMOUTH PLACE, INC. RECORDED AS DOCUMENT 9283712, APPROXIMATE LOCATION SHOWN HEREON, DOCUMENT IS VAGUE AS TO LOCATION—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 26 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 0-13-10 APPROVING A SPECIAL USE PERMIT AND SITE PLAN FOR RENOVATION OF GORDON PARK, RECORDED OCTOBER 2, 2013 AS DOCUMENT 1327529067, EASEMENTS GRANTED BY SAID DOCUMENT SHOWN HEREON—SEE DOCUMENT FOR PARTICULARS.)
- TITLE EXCEPTION 27 (PROPERTY SUBJECT TO TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ORDINANCE NO. 0-13-11 VACATING AN EXISTING UTILITY EASEMENT, APPROVING AN EASEMENT AGREEMENT, AND REQUESTING THE GRANT OF UTILITY EASEMENTS FROM THE PARK DISTRICT OF LA GRANGE RECORDED OCTOBER 2, 2013 AS DOCUMENT 1327529067, EASEMENTS GRANTED BY SAID DOCUMENT SHOWN HEREON—SEE DOCUMENT FOR PARTICULARS.)
- SURVEY BASED ON FIELD WORK COMPLETED ON 10-09-15.
- CONTACT JULIE AT 1-800-892-0123 FOR EXACT LOCATION OF BURIED UTILITIES PRIOR TO DIGGING.
- OBSERVABLE ABOVE GROUND UTILITIES AND ABOVE LOCATION EVIDENCE OF UNDERGROUND UTILITIES LOCATED AND SHOWN HEREON.
- BEARINGS ARE BASED UPON ILLINOIS STATE PLANE COORDINATES—EAST ZONE AND ARE IN THE SAME ANGULAR RELATIONSHIP AS THE RECORDED PLAT OF SUBDIVISION; LOT DIMENSIONS ARE BASED ON THE PLAT OF SHAWMUT AVENUE ADDITION NO. 2 RECORDED IN COOK COUNTY, ILLINOIS ON MARCH 13, 2013 AS DOCUMENT 1307339074.
- ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAPS THAT COVER THE AREA, THE HEREON DESCRIBED PROPERTY FALLS WITHIN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP, PANEL 17031C04784 WITH AN EFFECTIVE DATE OF AUGUST 19, 2008. SUBJECT TO MAP INTERPRETATION AND SCALING.
- ON 10-09-15 THERE WERE NO STRIPED PARKING SPACES WHOLLY WITHIN THE SITE BOUNDARY.

BENCHMARKS:

SOURCE BENCHMARK:
 NGS BENCHMARK 729 C PROVISIO TWP; PID: "M61712"
 BOLT SET IN TOP OF CONCRETE MONUMENT IN THE SOUTHEAST QUARTER OF THE INTERSECTION OF 31ST STREET AND WOLF ROAD, 45 FEET SOUTH OF THE CENTERLINE OF 31ST STREET, 40 FEET EAST OF THE CENTERLINE OF WOLF ROAD, 14 FEET NORTHEAST OF A TELEPHONE POLE
 ELEVATION = 652.81 NAVD 88

SITE BENCHMARK #1:
 TOP OF NORTH ARROW BOLT OF FIRE HYDRANT AT THE NORTH END OF LUGNET AVENUE
 ELEVATION = 631.06

SITE BENCHMARK #2:
 TOP OF SOUTH ARROW BOLT OF FIRE HYDRANT AT THE END OF SHAWMUT AVENUE ON NORTH SIDE OF STREET.
 ELEVATION = 647.33

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HEREON. OTHER RESTRICTIONS, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS ARE BASED ON THE PLAT OF SHAWMUT AVENUE ADDITION TO LA GRANGE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

- TABLE A OPTIONS**
 (CHECKED IF INCLUDED)
- MONUMENTATION
 - ADDRESSES
 - FLOOD ZONE
 - LAND AREAS
 - ELEVATIONS
 - CURRENT ZONING CLASSIFICATION AND RESTRICTIONS
 - BUILDING DIMENSIONS
 - BUILDING AREAS (EXTERIOR FOOTPRINTS)
 - OTHER BUILDING AREAS
 - BUILDING HEIGHT
 - VISIBLE IMPROVEMENTS
 - PARKING STRIPING
 - DETERMINATION OF PARTY WALLS
 - DETERMINATION OF PARTY WALLS (PLUMB)
 - UTILITIES OBSERVED EVIDENCE
 - UTILITIES OBSERVED EVIDENCE W/PLANS & MARKINGS
 - GOVERNMENTAL AGENCY REQUIREMENTS
 - NAMES OF ADJOINING OWNERS
 - DISTANCE TO NEAREST INTERSECTING STREET
 - RECTIFIED ORTHOPHOGRAPHY
 - EVIDENCE OF EARTH MOVING/BUILDING CONSTRUCTION
 - CHANGES IN RIGHT OF WAY
 - EVIDENCE OF WASTE DUMP
 - LOCATION OF WETLANDS (DELINEATED BY OTHERS)
 - LOCATE IMPROVEMENTS WITHIN OFFSITE EASEMENT
 - MONUMENTS PLACED AT CORNERS WITHIN OFFSITE EASEMENT
 - PROFESSIONAL LIABILITY INSURANCE

STATE OF ILLINOIS) S.S.
 COUNTY OF COOK)

— PATHWAY ACQUISITIONS, LLC
 — LA GRANGE PARK DISTRICT
 — FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, ONLY AS PUBLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE THEREIN 2, 3, 4, 5, 7(a), 8, 9, 10(a) AND 11(c) OF TABLE A HEREOF.

THE FIELD WORK WAS COMPLETED ON 10-09-2015.
 DATE OF P.E.A. OR MAP: 10-16-2015

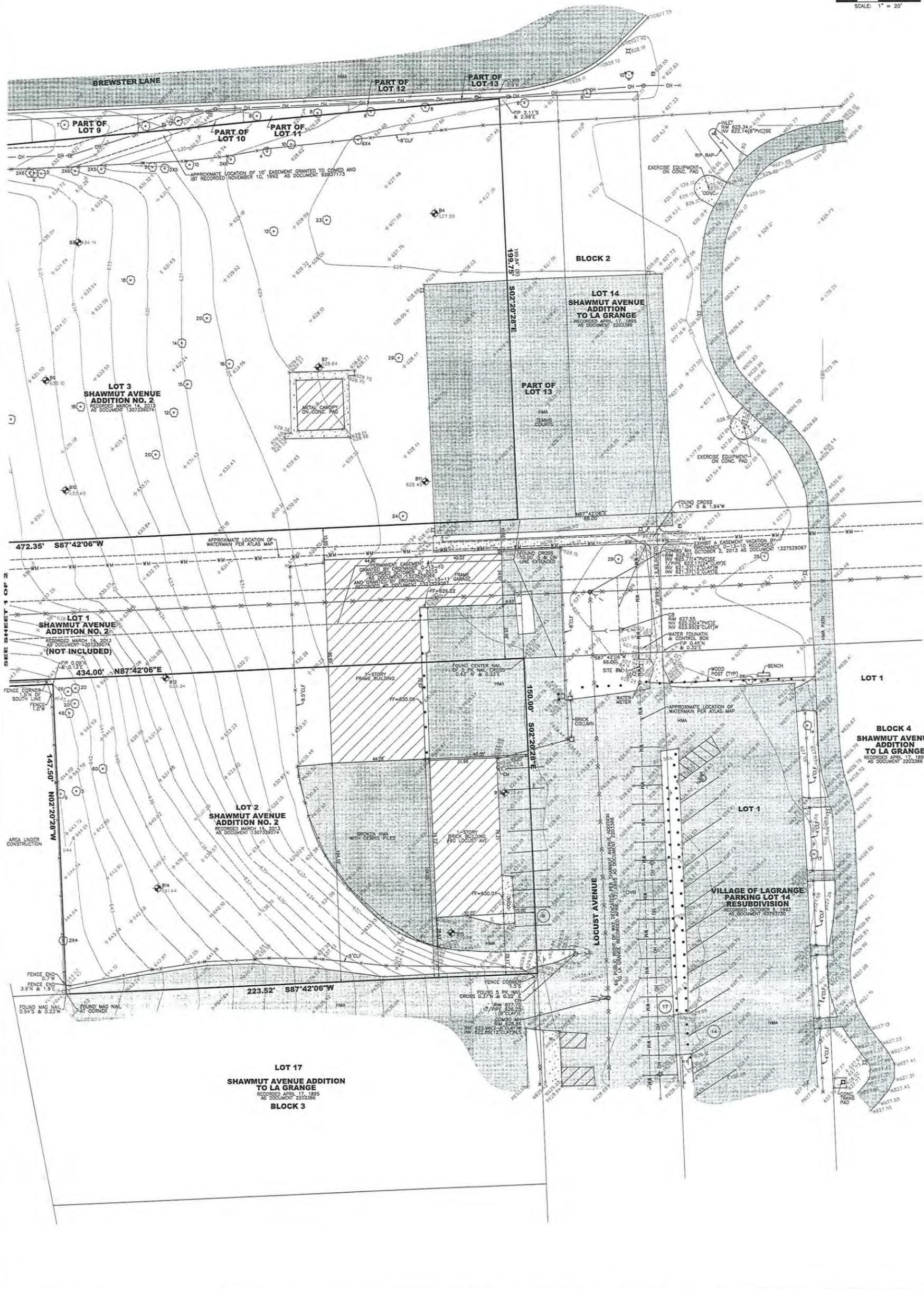
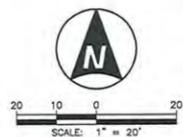
Russell W. Olsen
 RUSSELL W. OLSEN
 035-022718
 PROFESSIONAL LAND SURVEYOR
 STATE OF ILLINOIS
 LICENSE EXPIRES: NOVEMBER 30, 2016

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



<p>Mackie Consultants, LLC 9575 W. Higgins Road, Suite 500 Rosemont, IL 60018 (847) 696-1400 www.mackieconsult.com</p>	DESIGNED	MRD	<h2>ALTA/ACSM LAND TITLE SURVEY</h2> <h3>SENIOR HOUSING DEVELOPMENT</h3> <h3>LA GRANGE, ILLINOIS</h3>	<p>SHEET 1 OF 2</p> <p>PROJECT NUMBER: 2586 © MACKIE CONSULTANTS LLC, 2015 ILLINOIS FIRM LICENSE 184-022694</p>
	DRAWN	MRD		
	APPROVED	RWO		
	DATE	10-16-15		
	SCALE	1"=20'		

ALTA/ACSM LAND TITLE SURVEY



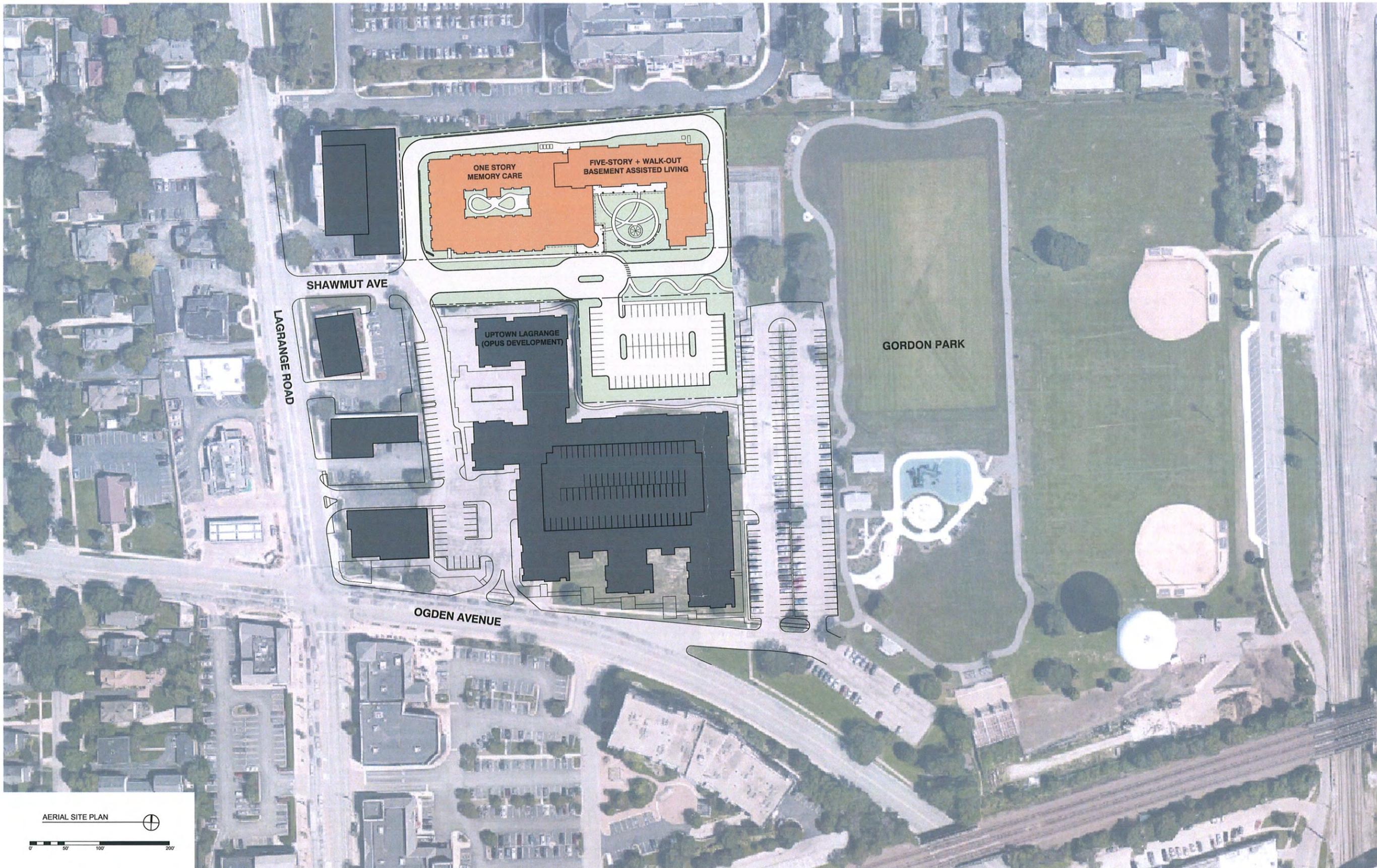
Mackie Consultants, LLC
 9575 W. Higgins Road, Suite 500
 Rosemont, IL 60018
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 www.mackieconsult.com

DATE	DESCRIPTION OF REVISION	BY

DESIGNED	
DRAWN	MRD
APPROVED	RWO
DATE	10-16-15
SCALE	1"=20'

ALTA/ACSM LAND TITLE SURVEY
SENIOR HOUSING DEVELOPMENT
LA GRANGE, ILLINOIS

SHEET
2 OF 2
 PROJECT NUMBER: 2586
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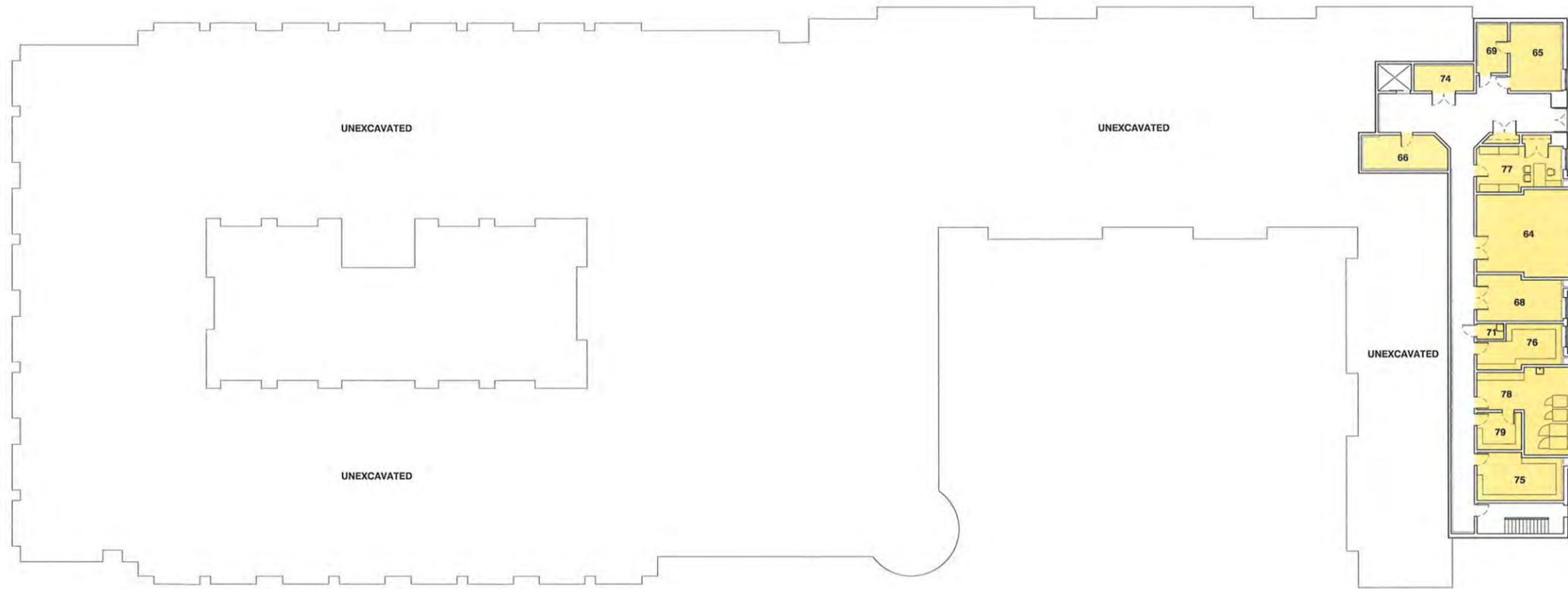


ASPIRED LIVING OF LAGRANGE

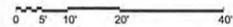
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GARDEN LEVEL FLOOR PLAN
 4,701 GSF

LEGEND

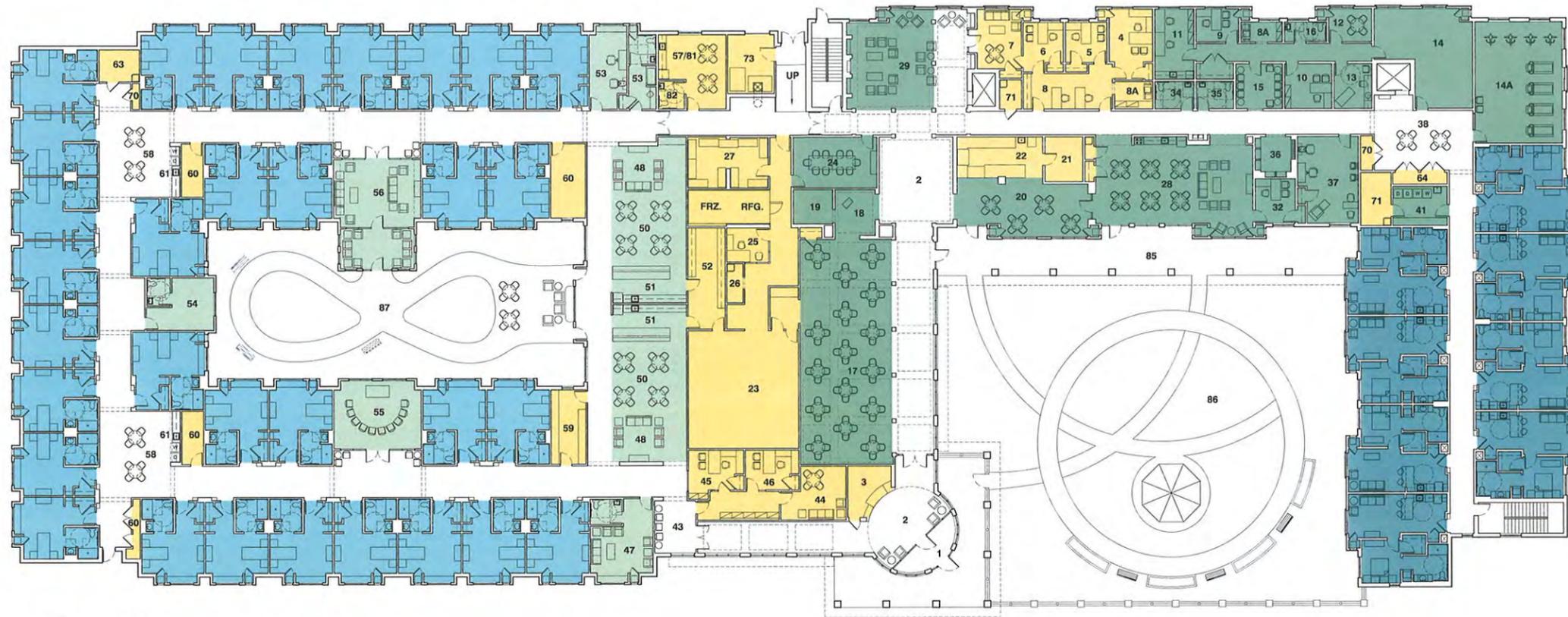
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|--------------------------------|-----------------------------------|-----------------------------------|---------------------------------|
| 1 VESTIBULE | 21 BISTRO SECURED STORAGE AREA | 45 MC PROGRAM MANAGER'S OFFICE | 68 FIRE PUMP ROOM |
| 2 LOBBY | 22 BISTRO SERVING AREA | 46 MC COMM. LIFE MANAGER'S OFFICE | 69 EMERGENCY POWER SWITCHES |
| 3 RECEPTION | 23 COMMERCIAL KITCHEN | 47 MCFAMILY LOUNGE W/ POWDER ROOM | 70 SUB ELECTRICAL/COMMUNICATION |
| 4 EXECUTIVE DIRECTOR OFFICE | 24 PRIVATE DINING ROOM | 48 MC LIVING/ACTIVITY ROOM | 71 JANITOR CLOSET |
| 5 BUSINESS MANAGER OFFICE | 25 DINING SERVICES MANAGER OFFICE | 49 GREENHOUSE/4 SEASON PORCH | 72 TRASH CHUTE |
| 6 SALES MANAGER | 26 JANITOR CLOSET | 50 MC DINING ROOM | 73 TRASH ROOM |
| 7 DISCOVERY/CONFERENCE ROOM | 27 DRY STORAGE ROOM | 51 MC KITCHEN | 74 RECEIVING ROOM |
| 7 GENERAL OFFICE | 28 COMMUNITY ROOM | 52 MC PANTRY | 75 HOUSEKEEPING SUPPLY |
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| 13 EXAM ROOM | 34 MEN'S ROOM | 57 MC STAFF LOUNGE W/ REST ROOM | 81 EMPLOYEE LOUNGE |
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ASPIRED LIVING OF LAGRANGE

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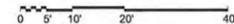
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1ST FLOOR PLAN

43,223 GSF



	MC STUDIO	AL STUDIO	AL 1-BED	AL 1-BED+DEN	AL 2-BED	TOTAL	AREA
5TH FLOOR	0	2	11	3	3	19	16,271
4TH FLOOR	0	2	11	3	3	19	16,465
3RD FLOOR	0	2	11	3	3	19	16,465
2ND FLOOR	0	2	11	3	3	19	16,465
1ST FLOOR	32	0	8	0	0	40	43,223
GARDEN	0	0	0	0	0	0	4,701
TOTAL	32	8	52	12	12	116	113,590

LEGEND

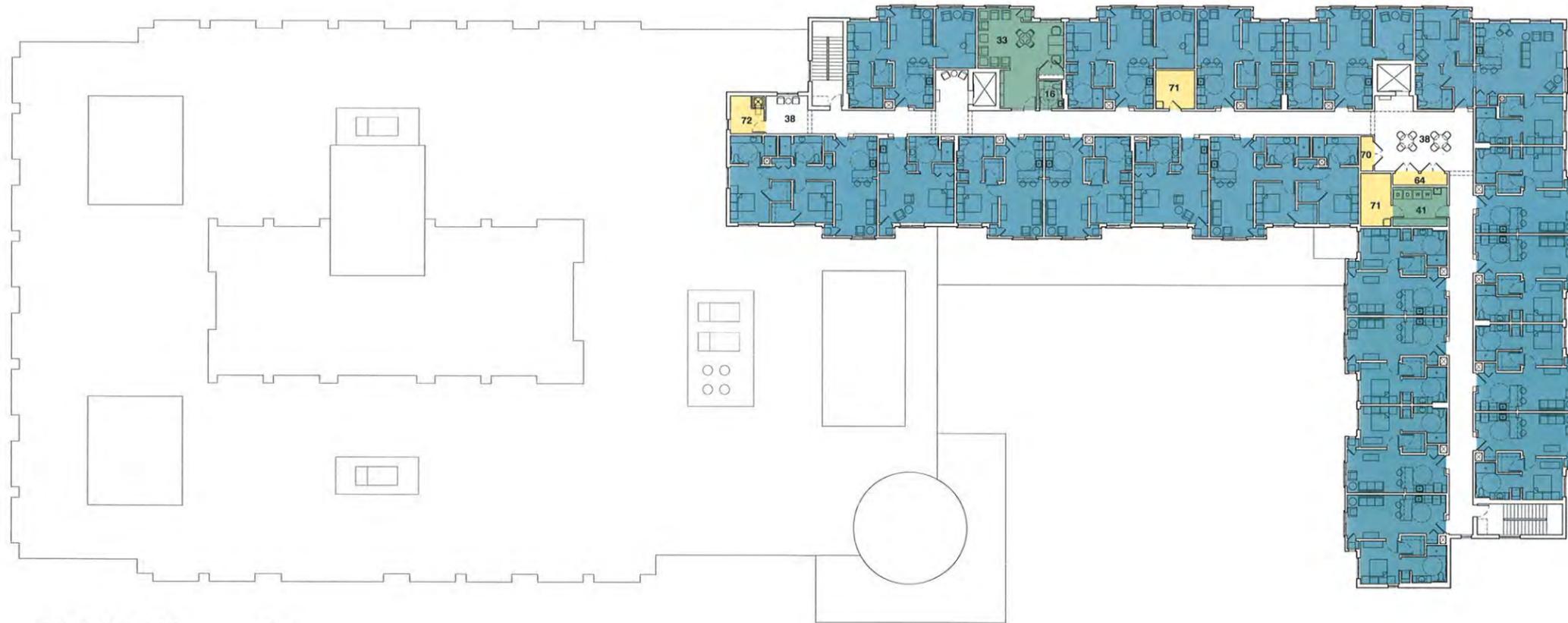
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ASPIRED LIVING OF LAGRANGE

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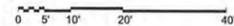
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2ND FLOOR PLAN

16,465 GSF



LEGEND

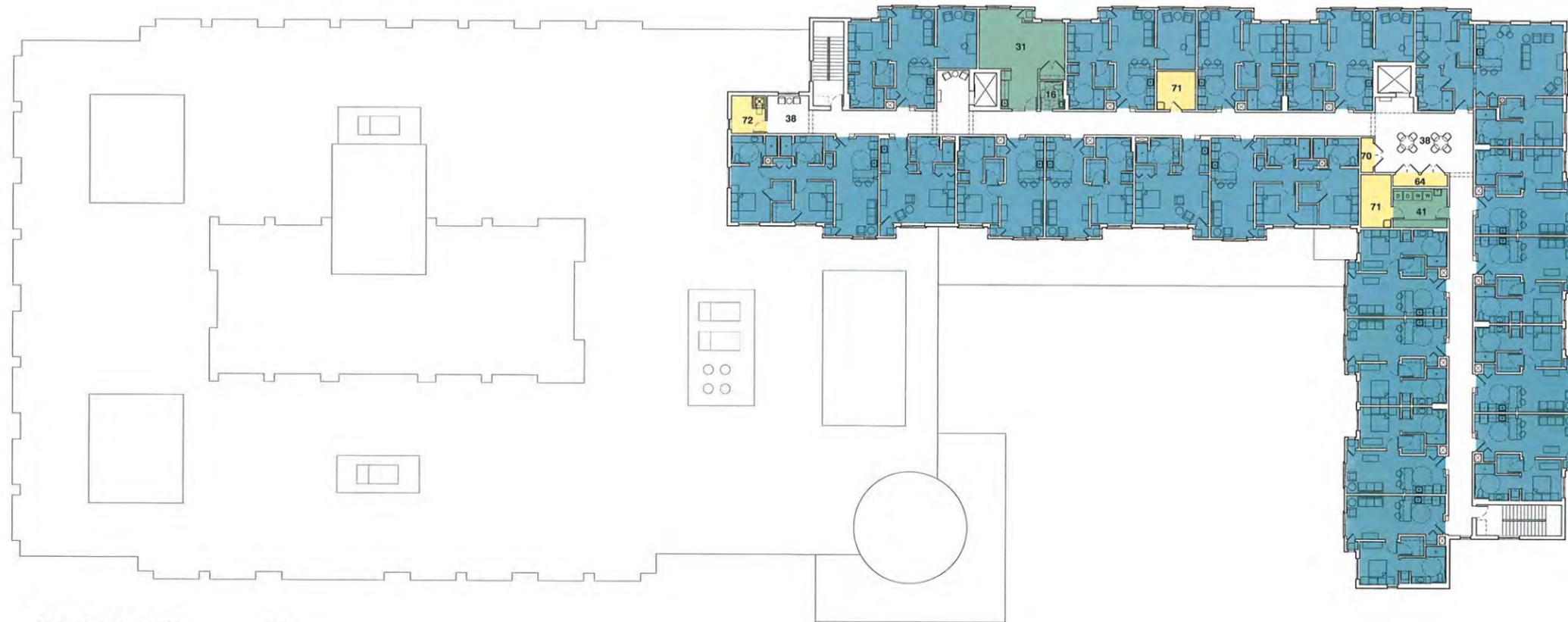
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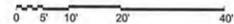
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3RD FLOOR PLAN

16,465 GSF



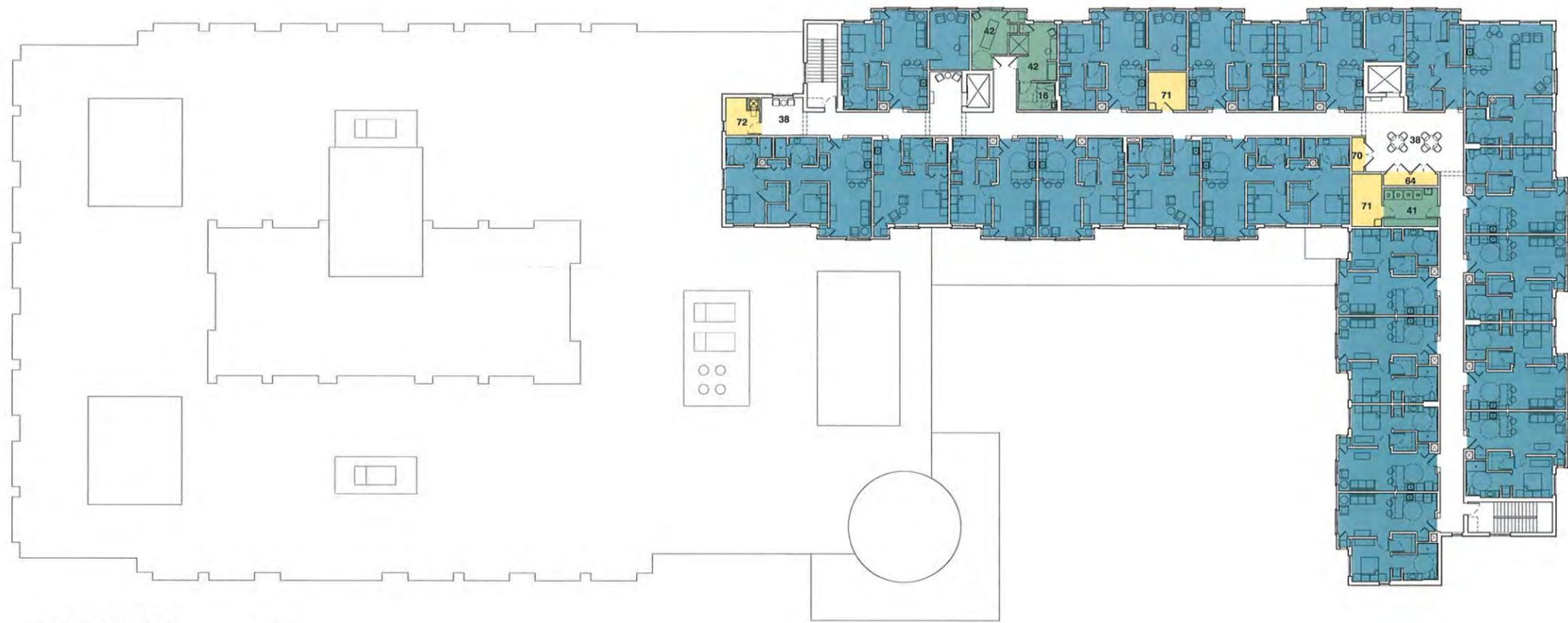
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4TH FLOOR PLAN
 16,465 GSF

LEGEND

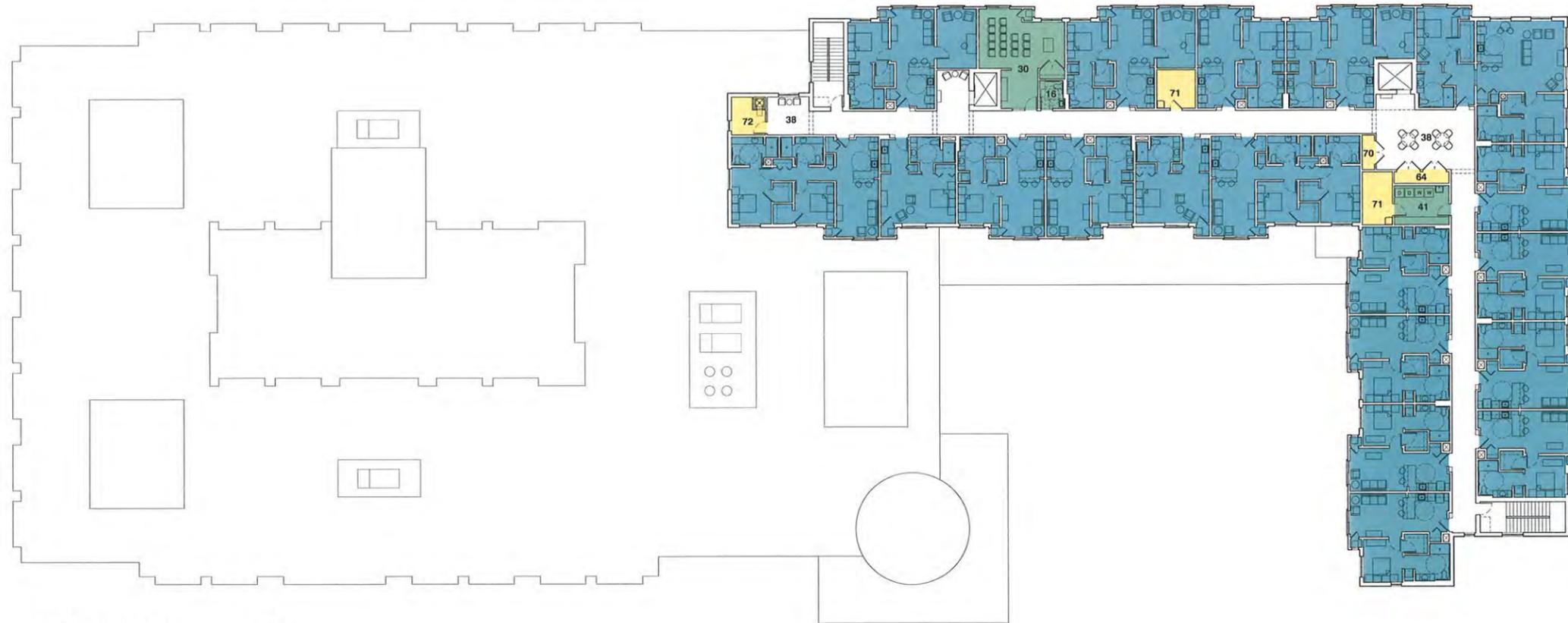
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5TH FLOOR PLAN
 16,271 GSF

LEGEND

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|--------------------------------|-----------------------------------|-----------------------------------|---------------------------------|
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| 12 CONSULTATION ROOM | 33 LIBRARY | 56 MC LIBRARY/TV AREA | 80 ACTIVITY STORAGE |
| 13 EXAM ROOM | 34 MEN'S ROOM | 57 MC STAFF LOUNGE W/ REST ROOM | 81 EMPLOYEE LOUNGE |
| 14 PHYSICAL THERAPY | 35 WOMEN'S ROOM | 58 MC LIFE ENRICHMENT NICHES | 82 EMPLOYEE RESTROOM |
| 14A EXERCISE ROOM | 36 MAIL NOOK | 59 MC RCM WORK AREAS | 83 FRONT PORCH |
| 15 MEDICAL/THERAPY WAITING | 37 BEAUTY SALON | 60 MC STORAGE CLOSET | 84 GAZEBO |
| 16 ADA RESTROOM | 38 NEIGHBORHOOD LOUNGE | 61 MC LAUNDRY CLOSET | 85 OUTDOOR AL DINING PATIO |
| 17 DINING ROOM | 41 AL RESIDENT LAUNDRY ROOMS | 62 MC LIFE ENRICHMENT NICHES | 86 AL COURTYARD |
| 18 DINING FOYER | 42 SPA/BATHTIQUE/MASSAGE | 63 MC JANITOR CLOSET | 87 MC COURTYARD |
| 19 WHEELCHAIR STORAGE ALCOVE | 43 MC VESTIBULE | 64 MECHANICAL EQUIPMENT | |
| 20 BISTRO DINING AREA | 44 MC SALES/DISCOVERY | 65 MAIN ELECTRICAL ROOM | |
| | | 66 TELEPHONE/CABLE/DATA ROOM | |

ASPIRED LIVING OF LAGRANGE

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SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

ASPIRED LIVING OF LAGRANGE

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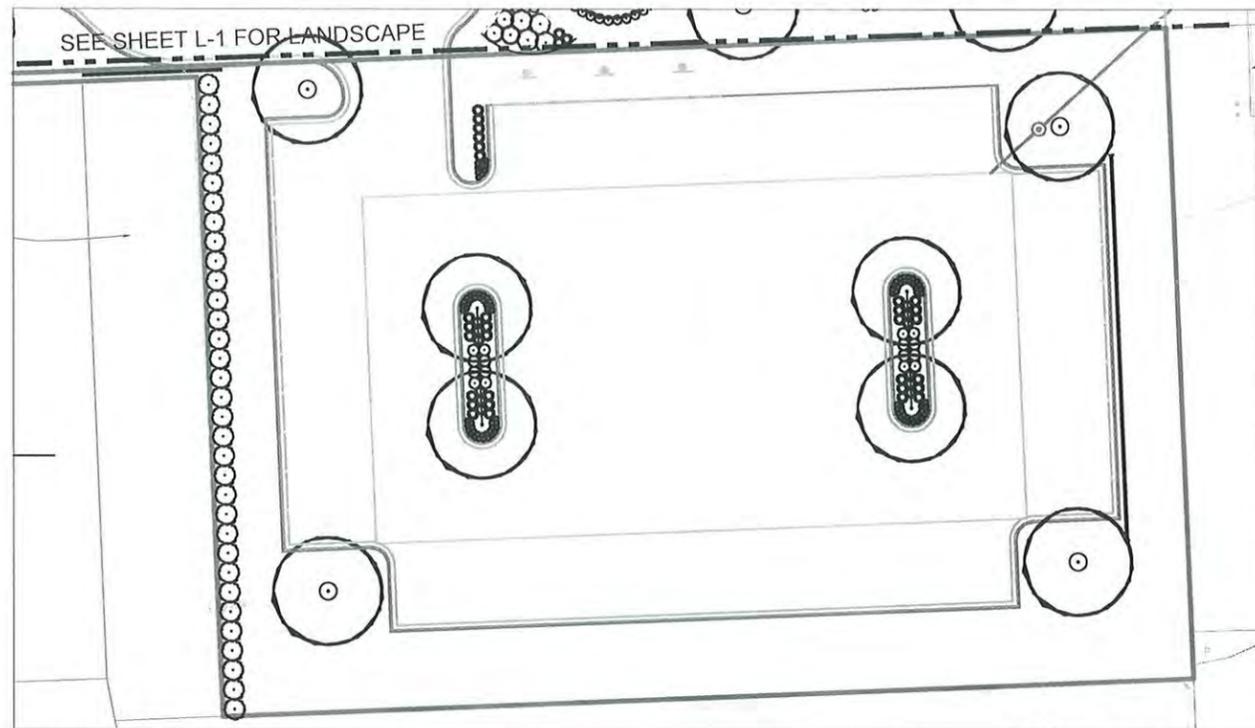
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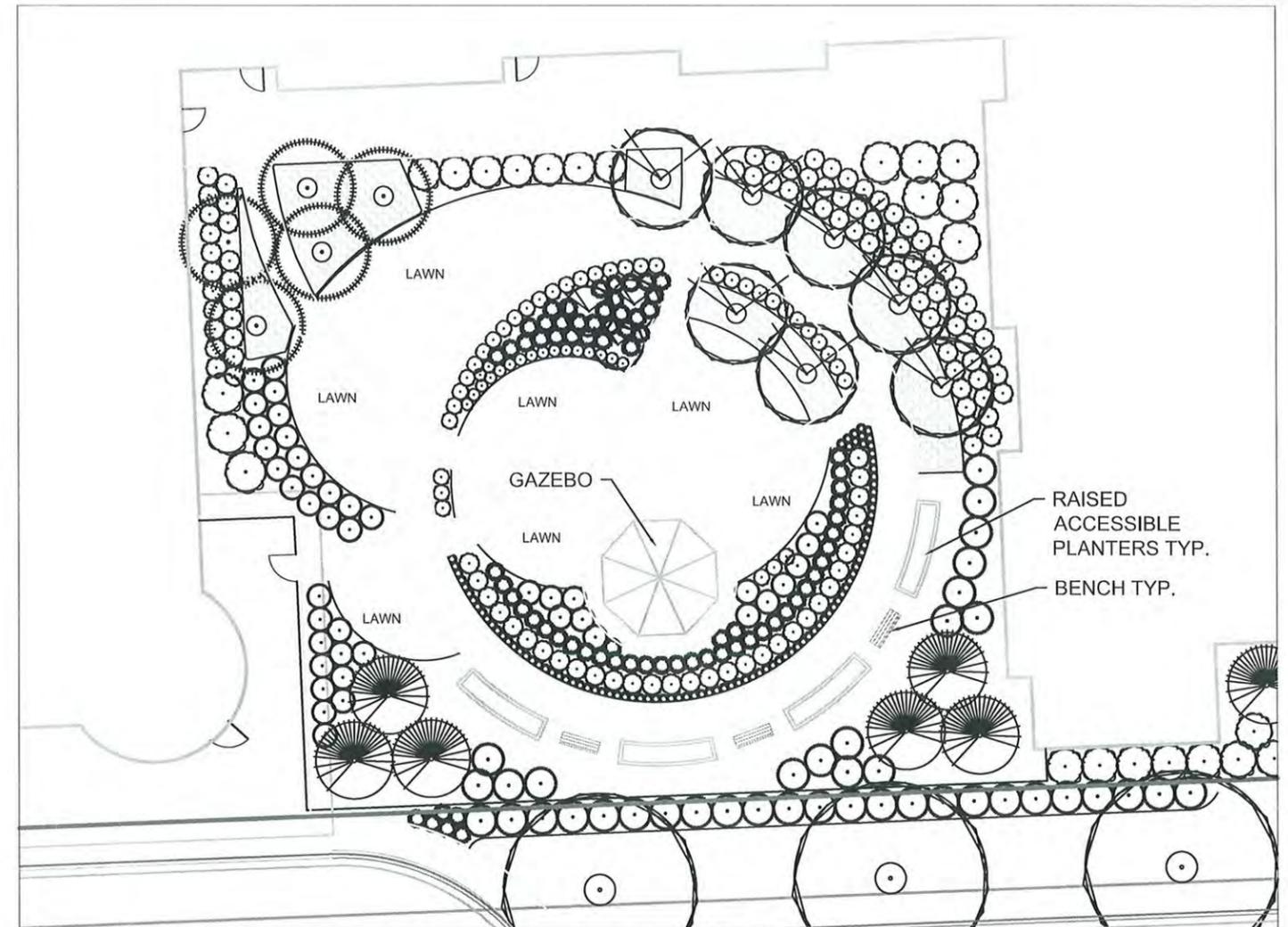
2016.01.08



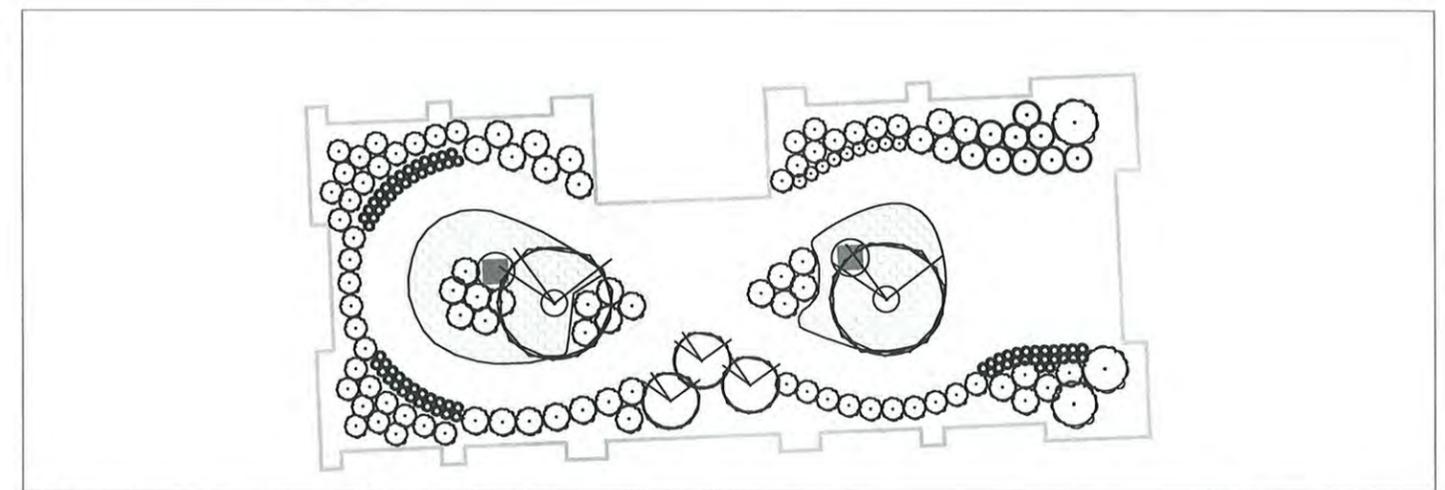
PARKING LOT LANDSCAPE PLAN

- Deciduous Shade Tree
- Deciduous Ornamental Tree
- Evergreen Tree
- Shrubs and Perennials
- Groundcover

PLANT LIST				
SYM.	BOTANICAL NAME	COMMON NAME	Size	Cond.
Deciduous Shade Trees				
Ac ru	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5'	B & B
G bl	Ginkgo biloba (male)	Ginkgo	2.5'	B & B
G tr	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2.5'	B & B
Qu ro	Quercus robur 'Crimson Spire'	Crimson Spire Oak	3"	B & B
Ta di	Taxodium distichum 'Shawnee Brave'	Shawnee Brave Cypress	2.5'	B & B
Ti am	Tilia americana 'Redmond'	Redmond Linden	2.5'	B & B
Ti co	Tilia cordata 'Greenspire'	Greenspire Linden	2.5'	B & B
Deciduous Ornamental Trees				
Am gr	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Clump	B & B
Ac pa	Acer palmatum var. 'dissectum' 'Crimson Queen'	Crimson Queen Japanese Maple	#5 K	Cont.
Ma Sa	Malus Sargentii	Sargent Crab	4' Clump	B & B
Ma so	Magnolia soulangeana	Saucer Magnolia	8' Clump	B & B
Sy re	Syringa reticulata	Japanese Tree Lilac	2"	B & B
Evergreen Trees				
Pi pu	Picea pungens	Colorado Spruce	8'	B & B
Ps me	Pseudotsuga menziesii	Douglas Fir	10'	B & B
Deciduous Shrubs				
Co ap	Cotoneaster apiculatus	Cranberry Cotoneaster	#5	Cont.
Co se	Cornus sericea 'Isanti'	Isanti Redtwig Dogwood	#5	Cont.
Di lo	Dienella lonicera	Dwarf Bush - Honeysuckle	#5	Cont.
Ha vi	Hamamelis virginiana	American Witchhazel	4'	B & B
Hi sy	Hibiscus syriacus 'Notwoodone'	Lavender Chiffon Hibiscus	#3	Cont.
Ph op	Physocarpus opulifolius 'Mndia'	Copperina Ninebark	#5B	Cont.
Ro KO	Rosa 'Radrazz'	Knockout Rose	#3B	Cont.
Sp ja	Spirea japonica 'Galen'	Double Play Arisan Spirea	#3B	Cont.
Sy me	Syringa meyeri 'Palban'	Dwarf Korean Lilac	#5	Cont.
Sy pa	Syringa patula 'Miss Kim'	Miss Kim Lilac	#5	Cont.
Vi de	Viburnum dentatum 'Synnestevedt'	Chicago Lustre Arrowwood Viburnum	4'	B & B
Vi tr	Viburnum trilobum	Highbush Cranberry Viburnum	4'	B & B
Evergreen Shrubs				
Bu mi	Buxus 'Chicagoland Green'	Chicagoland Green Boxwood	#2	Cont.
Ju ch	Juniperus chinensis sargentii 'Viridis'	Green Sargent Juniper	#2	Cont.
Ju ch K	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Juniper	#5	Cont.
Pl nu	Pinus mugo 'Valley Cushion'	Dwarf Mugo Pine	#2	Cont.
Ta de	Taxus densiformis	Dense Yew	#5	Cont.
Perennials				
Al SB	Allium 'Summer Beauty'	Summer Beauty Onion	#1	Cont.
Ag hy	Agastache 'Blue Fortune'	Anise Hyssop 'Blue Fortune'	#1	Cont.
Ba TP	Baptisia 'Twilight Prairieblues'	Baptisia 'Twilight Prairieblues'	#1	Cont.
Ca ac	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1	Cont.
Ca la	Carex laxiculmis 'Hobb'	Carex Blue Bunny	#1	Cont.
Di PK	Dianthus Fruit Punch 'Pomegranate Kiss'	Pomegranate Kiss Pinks	24 Flat	Cont.
He GB	Hemerocallis 'Going Bananas'	Going Bananas Daylily	#1	Cont.
He RR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.
Ho RS	Hosta 'Royal Standard'	Royal Standard Hosta	#1	Cont.
Ir CB	Iris siberica 'Caesar's Brother'	Caesar's Brother Siberian Iris	#1	Cont.
Li sp	Liriope spicata	Creeping Lilyturf	12 Flat	Cont.
Sal ne	Salvia nemorosa 'May Night'	May Night Salvia	#1	Cont.
Se AD	Sedum 'Autumn Delight'	Autumn Delight Sedum	#1	Cont.



INTERNAL COURTYARD 'A' LANDSCAPE PLAN



INTERNAL COURTYARD 'B' LANDSCAPE PLAN

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 9575 W Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (847) 823-0500

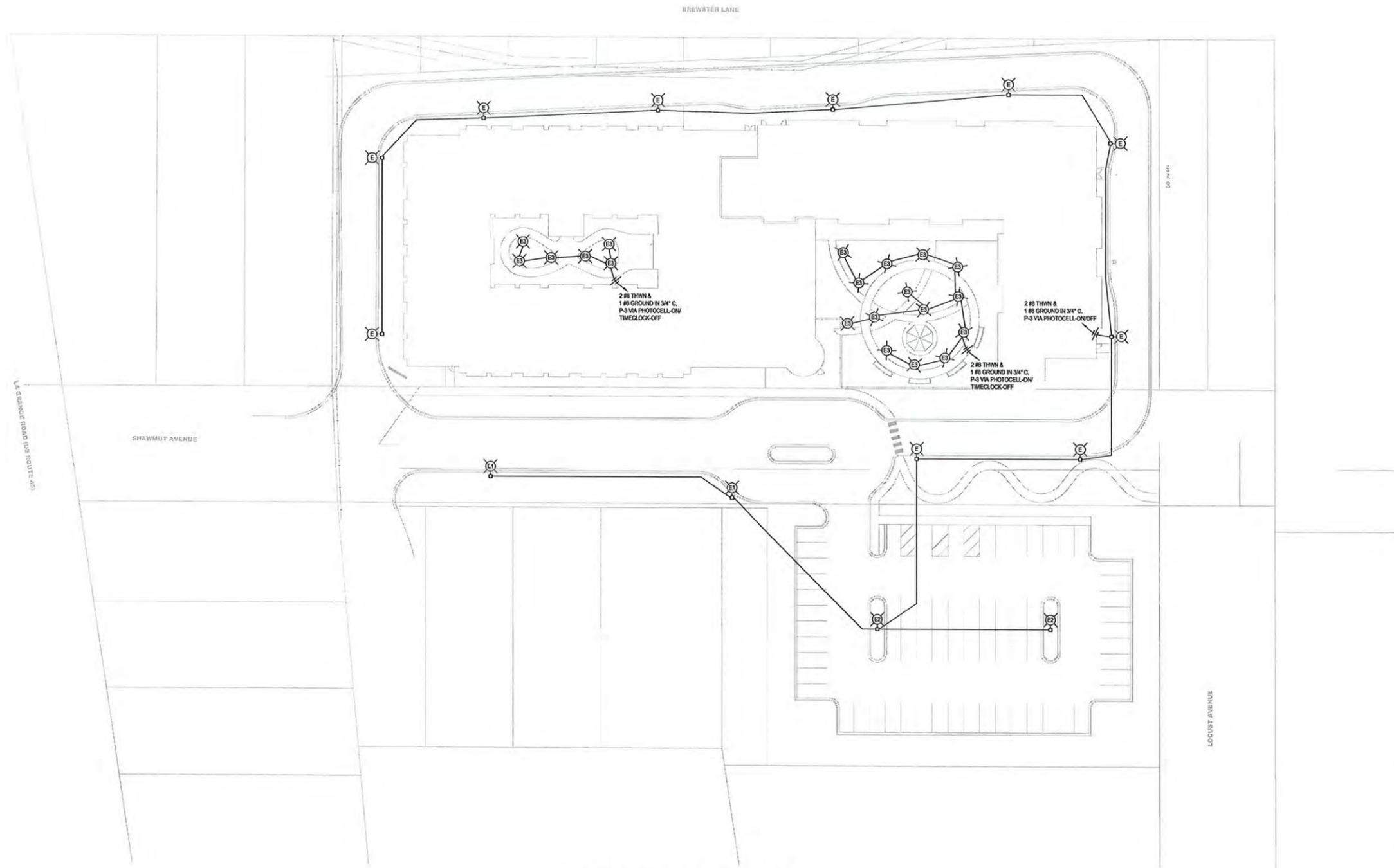
CLIENT: **ASPIRED LIVING**
 LaGrange, IL

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:

TITLE: **LANDSCAPE PLAN**

DSGN. DJG
 DWN. DJG
 CHKD.
 SCALE: 1" = 20'
 PLOT DATE:
 CAD USER:

PROJ. NO. 160002
 DATE: 1/8/16
 SHEET 2 OF 2
 DRAWING NO. **L2**



ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"



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CONSULTING ELECTRICAL ENGINEERS
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NEW BERN, N.C. 28555
(252) 784-3323 FAX: (252) 784-5014

CLIENT: **OPUS DESIGN BUILD, LLC**
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WWW.OPUS-GROUP.COM

DESIGNED	D.B.K.	
DRAWN	S.M.B.	
APPROVED	D.B.K.	
DATE	01-08-18	
SCALE	AS NOTED	
DATE	DESCRIPTION OF REVISION	BY

ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS

SHEET
E1 OF 3
PROJECT NUMBER: 15125
KORNACKI & ASSOCIATES, INC.
ILLINOIS FIRM LICENSE 184.005374

DATE	DESCRIPTION OF REVISION	BY	SCALE	AS NOTED
	DESIGNED	D.B.K.		
	DRAWN	S.M.B.		
	APPROVED	D.B.K.		
01-08-16				

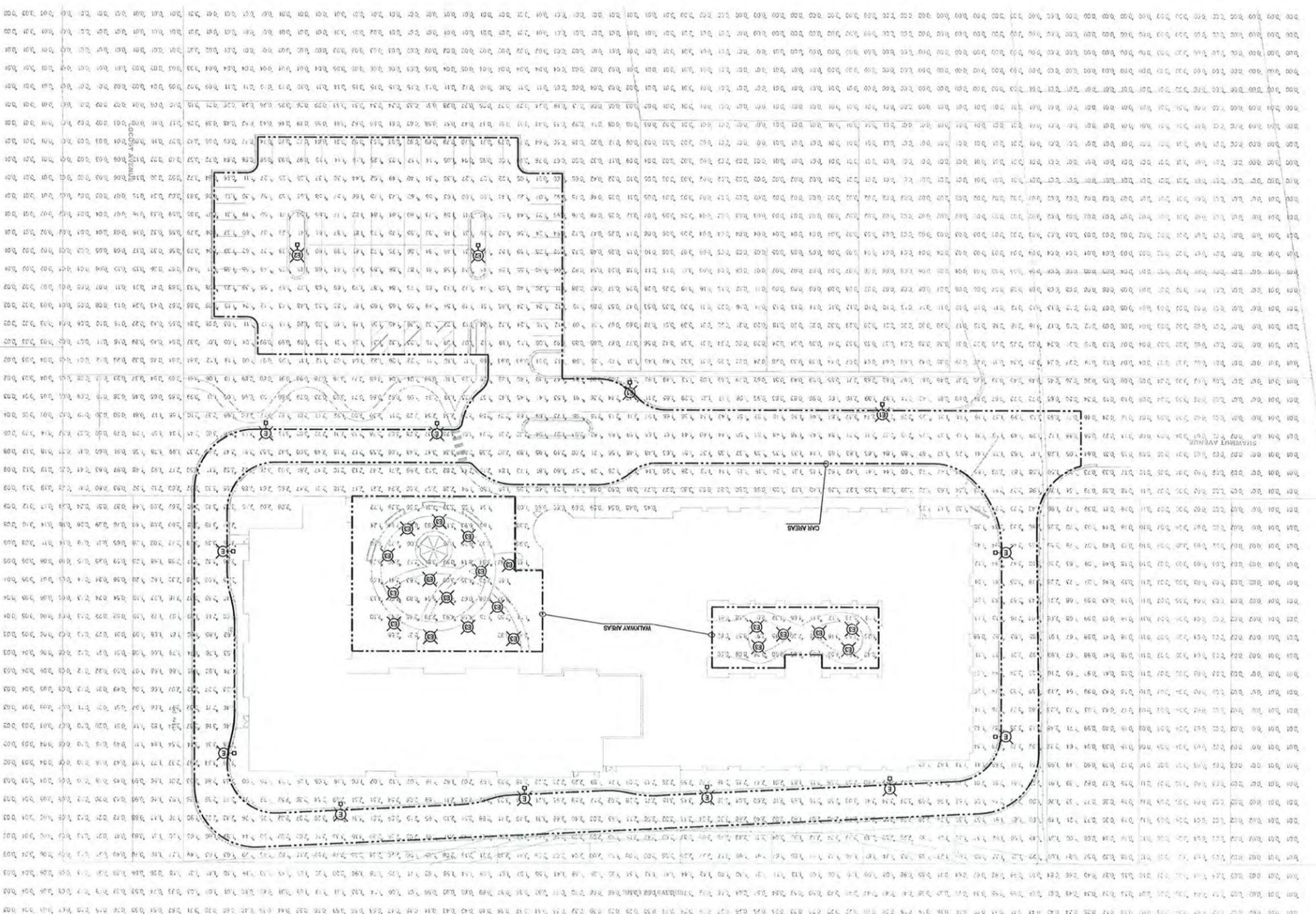
ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS



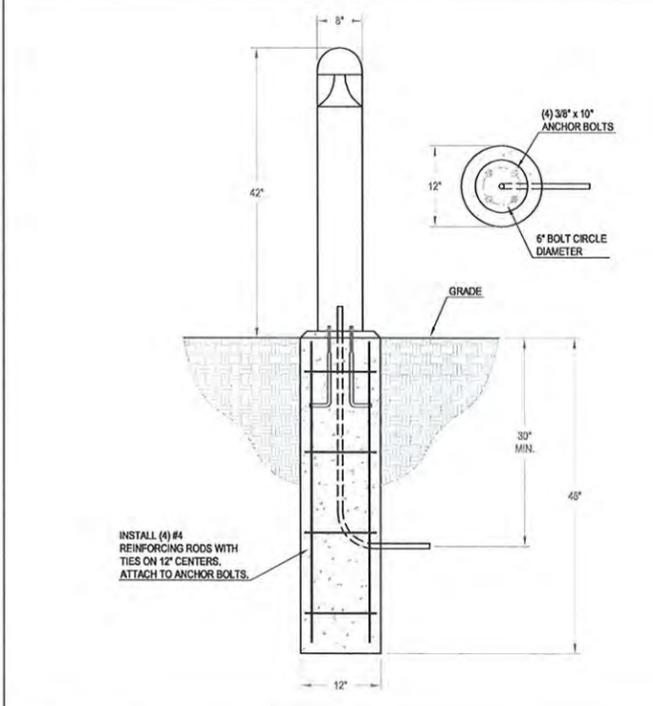
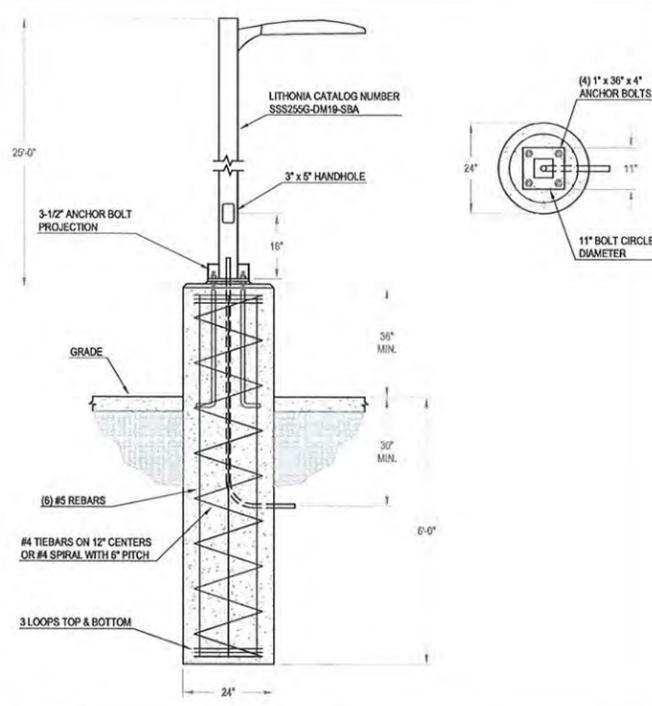
PHOTOMETRIC SITE PLAN
 SCALE: 1"=30'-0"

- LIGHTING ANALYSIS NOTES:**
 (CAR AREAS)
1. AVERAGE FOOTCANDLES: 1.94
 2. MINIMUM FOOTCANDLES: 0.70
 3. MAXIMUM FOOTCANDLES: 3.54
 4. AVERAGE MINIMUM RATIO: 2.8:1
 5. MAXIMUM MINIMUM RATIO: 5.1:1

- LIGHTING ANALYSIS NOTES:**
 (WALKWAY AREAS)
1. AVERAGE FOOTCANDLES: 3.22
 2. MINIMUM FOOTCANDLES: 0.42
 3. MAXIMUM FOOTCANDLES: 6.57
 4. AVERAGE MINIMUM RATIO: 8.9:1
 5. MAXIMUM MINIMUM RATIO: 20.4:1



LA GRANGE (DART 100) WAUTE 101



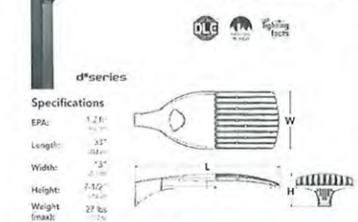
1 ELECTRICAL FIXTURE TYPES 'E', 'E1' & 'E2' MOUNTING DETAIL NOT TO SCALE

2 ELECTRICAL FIXTURE TYPE 'E3' MOUNTING DETAIL NOT TO SCALE

FIXTURE SCHEDULE

TYPE	INPUT WATTS	LAMPS		DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTS	SHIELDING	FINISH	MOUNTING	REMARKS
		NO.	MANUFACTURER CATALOG NO.								
E	209	LED	WITH FIXTURE	POLE & LUMINAIRE	LITHONIA	DSX1 LED 60C 1000 40K T2M MVOLT SPA SBA	277	NONE	SELECTED BY ARCHITECT	SEE DETAIL 1/E3	TYPE 2 DISTRIBUTION
E1	209	LED	WITH FIXTURE	POLE & LUMINAIRE	LITHONIA	DSX1 LED 60C 1000 40K T3M MVOLT SPA SBA	277	NONE	SELECTED BY ARCHITECT	SEE DETAIL 1/E3	TYPE 3 DISTRIBUTION
E2	209	LED	WITH FIXTURE	POLE & LUMINAIRE	LITHONIA	DSX1 LED 60C 1000 40K T3M MVOLT SPA SBA	277	NONE	SELECTED BY ARCHITECT	SEE DETAIL 1/E3	TYPE 5 DISTRIBUTION
E3	28	LED	WITH FIXTURE	BOLLARD	LITHONIA	DSX B LED 16C 530 SYM	277	NONE	SELECTED BY ARCHITECT	SEE DETAIL 2/E3	TYPE 5 DISTRIBUTION

D-Series Size 1 LED Area Luminaire



Ordering Information EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

Order #	Qty	Part #	Manufacturer	Description	Notes	Shipped Included	Shipped Installed	Shipped	Stock
DSX115	1	DSX115	LITHONIA	DSX1 LED 60C 1000 40K T3M MVOLT SPA SBA	DSX115	DSX115	DSX115	DSX115	DSX115

Accessories

Tension Mounting Slipfitter **

NOTES

1. Order with 1/2\"/>

D-Series LED Bollard



Ordering Information EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

Order #	Qty	Part #	Manufacturer	Description	Notes	Shipped Included	Shipped Installed	Shipped	Stock
DSXB15	1	DSXB15	LITHONIA	DSXB LED 16C 700 40K SYM MVOLT DDBXD	DSXB15	DSXB15	DSXB15	DSXB15	DSXB15

Accessories

NOTES

1. Order with 1/2\"/>

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NEW BERN, N.C. 28515
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CLIENT: **OPUS DESIGN BUILD, LLC**
9700 W. HIGGINS ROAD, SUITE 900
ROSEMONT, IL 60018
(847)692-4444
WWW.OPUS-GROUP.COM

DATE	DESCRIPTION OF REVISION	BY	SCALE	AS NOTED
DESIGNED	D.B.K.			
DRAWN	S.M.B.			
APPROVED	D.B.K.			
DATE	01-08-16			

**ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS**



SHEET
E3 OF 3
PROJECT NUMBER: 15125
KORNACKI & ASSOCIATES, INC.
ILLINOIS FIRM LICENSE 184-005374

PRELIMINARY ENGINEERING ASPIRED LIVING OF LA GRANGE LA GRANGE, ILLINOIS

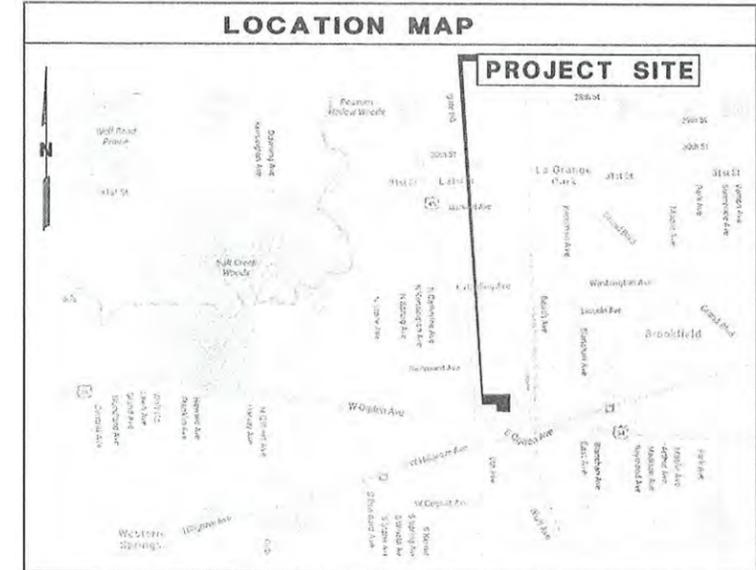
LEGEND

	EXIST'G	PROPOSED
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
UNDERDRAIN		
MANHOLE		
CATCH BASIN		
INLET		
CLEANOUT		
WATER MAIN		
VALVE VAULT		
VALVE BOX		
FIRE HYDRANT		
FLARED END SECTION		
COMBINED SEWER		
STREET LIGHT/PARKING LOT LIGHT		
POWER POLE		
STREET SIGN		
FENCE		
GAS MAIN		
OVERHEAD LINE		
TELEPHONE LINE		
ELECTRIC LINE		
CABLE TV LINE		
HIGH WATER LEVEL		
NORMAL WATER LEVEL		
CONTOUR LINE		
TOP OF CURB ELEVATION	TC XXX.XX	TC XXX.XX
TOP OF DEPRESSED CURB	TDC XXX.XX	TDC XXX.XX
PAVEMENT ELEVATION	P XXX.XX	P XXX.XX
SPOT ELEVATION	XXX.XX	XXX.XX
FINISHED FLOOR ELEVATION	FF - XXX.XX	FF - XXX.XX
TOP OF FOUNDATION	TF - XXX.XX	TF - XXX.XX
GRADE AT FOUNDATION	GF - XXX.XX	GF - XXX.XX
HIGH OR LOW POINT		
OVERLAND FLOOD ROUTE		
PAVEMENT FLOW DIRECTION		
SWALE FLOW DIRECTION		
DEPRESSED CURB AND GUTTER		
REVERSE CURB AND GUTTER		

INDEX

- 1 COVER SHEET
- 2 PRELIMINARY DEMOLITION PLAN
- 3 PRELIMINARY GRADING PLAN
- 4 PRELIMINARY UTILITY PLAN
- 5 PRELIMINARY PAVING PLAN

LOCATION MAP



ABBREVIATIONS

AC	ACRE	HWL	HIGH WATER ELEVATION	SAN	SANITARY SEWER
BC	BACK OF CURB	INL	INLET	SMH	SANITARY MANHOLE
BTM	BOTTOM	INV	INVERT	STA	STATION
CB	CATCH BASIN	LF	LINEAL FEET/FOOT	STM	STORM SEWER
CFS	CUBIC FEET PER SECOND	LP	LIGHT POLE	SY	SQUARE YARD
CY	CUBIC YARD	LT	LEFT	SWPP	STORMWATER POLLUTION PREVENTION PLAN
DIA	DIAMETER	L/W	LOWEST GRADE ADJACENT TO RETAINING WALL	TDC	TOP OF DEPRESSED CURB
DIWM	DUCTILE IRON WATER MAIN	MAX	MAXIMUM	TC	TOP OF CURB
EL	ELEVATION	MH	STORM MANHOLE	TF	TOP OF FOUNDATION
EP	EDGE OF PAVEMENT	MIN	MINIMUM	T/W	TOP OF RETAINING WALL
FF	FINISHED FLOOR	NWL	NORMAL WATER ELEVATION	TYP	TYPICAL
FES	FLARED END SECTION	OCS	OUTLET CONTROL STRUCTURE	VB	VALVE BOX
FT	FOOT/FEET	P	PAVEMENT ELEVATION	VC	VERTICAL CURVE
G	GUTTER ELEVATION	PVC	POLYVINYL CHLORIDE PIPE	VV	VALVE VAULT
GF	GRADE AT FOUNDATION	R	RADIUS	W	WALK ELEVATION
GR	GRADE RING ELEVATION	RCP	REINFORCED CONCRETE PIPE	WM	WATER MAIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE	RT	RIM ELEVATION	VPI	VERTICAL POINT OF INTERSECTION
HYD	FIRE HYDRANT	ROW	RIGHT OF WAY		
HMA	HOT MIX ASPHALT				

SOURCE BENCHMARK:
NGS BENCHMARK: "29 C PROVISIO TWP"; PID: "ME1712"
BOLT SET IN TOP OF CONCRETE MONUMENT, IN THE SOUTHEAST QUARTER OF THE INTERSECTION OF 31ST STREET AND WOLF ROAD, 45 FEET SOUTH OF THE CENTERLINE OF 31ST STREET, 40 FEET EAST OF THE CENTERLINE OF WOLF ROAD, 14 FEET NORTHEAST OF A TELEPHONE POLE.
ELEVATION = 652.81 NAVD 88

SITE BENCHMARK #1:
TOP OF NORTH ARROW BOLT OF FIRE HYDRANT AT THE NORTH END OF LOCUST AVENUE.
ELEVATION = 631.06

SITE BENCHMARK #2:
TOP OF SOUTH ARROW BOLT OF FIRE HYDRANT AT THE END OF SHAWMUT AVENUE ON NORTH SIDE OF STREET.
ELEVATION = 647.33



DRAINAGE CERTIFICATION

HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

Charles A. Smith
ENGINEER'S SIGNATURE

1-8-16
11/30/17
ENGINEER'S SEAL

CLIENT:

OPUS DESIGN BUILD, LLC
9700 W. HIGGINS ROAD, SUITE 900
ROSEMONT, IL 60018
(847)692-4444
WWW.OPUS-GROUP.COM

DESIGNED	ST
DRAWN	ST
APPROVED	DAS
DATE	01-08-16
SCALE	N.T.S.

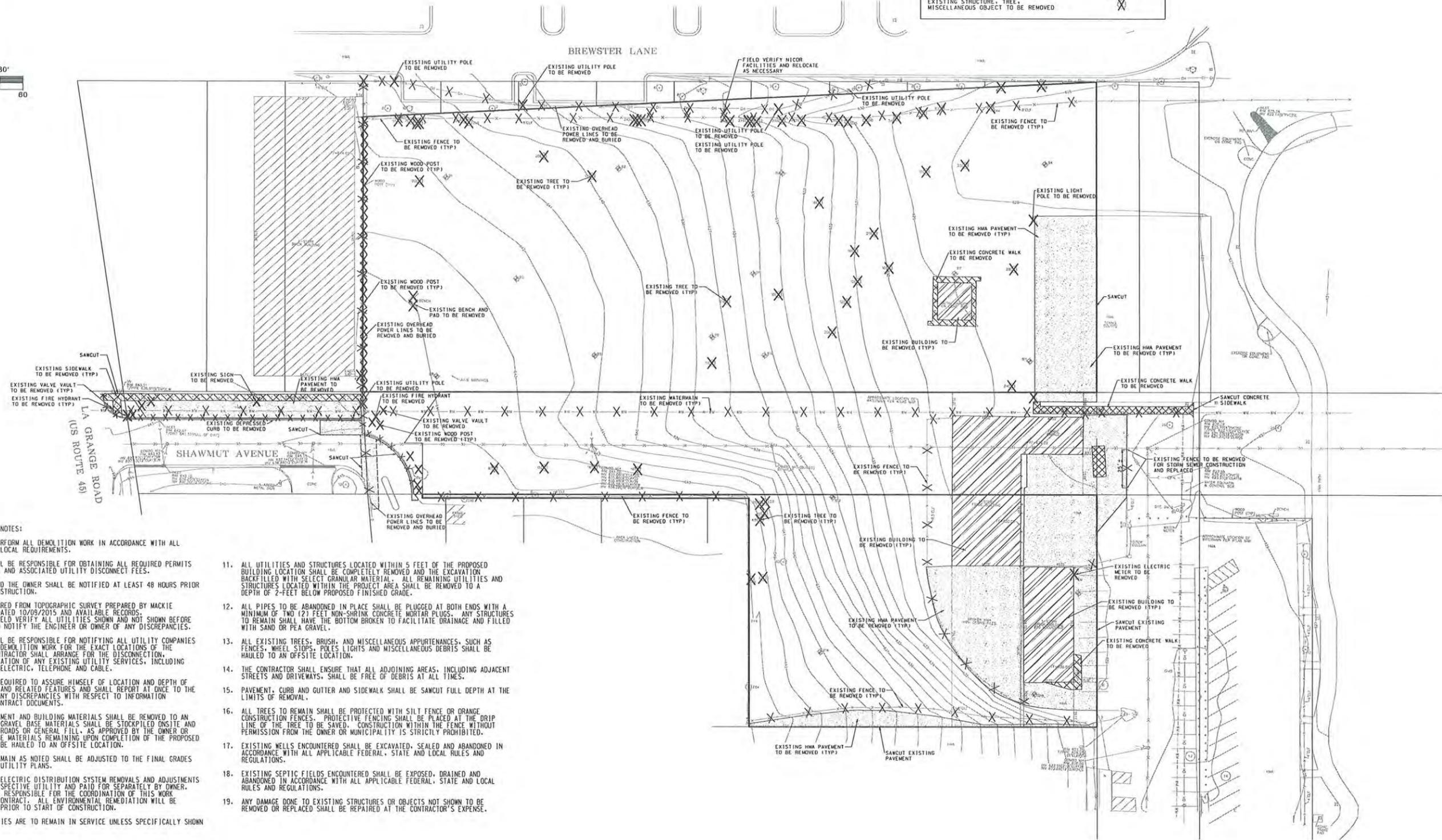
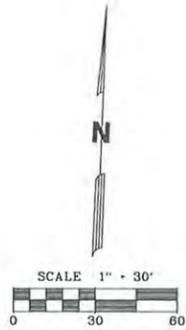
COVER SHEET
ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS

SHEET
1 OF 5
PROJECT NUMBER: 2586
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ILLINOIS FIRM LICENSE 184-002894



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

LEGEND	
EXISTING BUILDING TO BE REMOVED	
EXISTING CONCRETE TO BE REMOVED	
EXISTING HMA PAVEMENT TO BE REMOVED	
EXISTING CURB TO BE REMOVED	
EXISTING UTILITY TO BE REMOVED	
EXISTING STRUCTURE, TREE, MISCELLANEOUS OBJECT TO BE REMOVED	



DEMOLITION PLAN GENERAL NOTES:

- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR DEMOLITION WORK AND ASSOCIATED UTILITY DISCONNECT FEES.
- THE MUNICIPALITY AND THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN WAS PREPARED FROM TOPOGRAPHIC SURVEY PREPARED BY MACKIE CONSULTANTS, LLC, DATED 10/09/2015 AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO BEGINNING DEMOLITION WORK FOR THE EXACT LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL ARRANGE FOR THE DISCONNECTION, PROTECTION OR RELOCATION OF ANY EXISTING UTILITY SERVICES, INCLUDING WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE.
- THE CONTRACTOR IS REQUIRED TO ASSURE HIMSELF OF LOCATION AND DEPTH OF EXISTING UTILITIES AND RELATED FEATURES AND SHALL REPORT AT ONCE TO THE OWNER OR ENGINEER ANY DISCREPANCIES WITH RESPECT TO INFORMATION INDICATED IN THE CONTRACT DOCUMENTS.
- ALL BITUMINOUS PAVEMENT AND BUILDING MATERIALS SHALL BE REMOVED TO AN OFFSITE LOCATION. GRAVEL BASE MATERIALS SHALL BE STOCKPILED ONSITE AND USED FOR TEMPORARY ROADS OR GENERAL FILL, AS APPROVED BY THE OWNER OR DEVELOPER. ANY BASE MATERIALS REMAINING UPON COMPLETION OF THE PROPOSED IMPROVEMENTS SHALL BE HAULED TO AN OFFSITE LOCATION.
- ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS PROVIDED ON THE UTILITY PLANS.
- GAS, TELEPHONE AND ELECTRIC DISTRIBUTION SYSTEM REMOVALS AND ADJUSTMENTS SHALL BE DONE BY RESPECTIVE UTILITY AND PAID FOR SEPARATELY BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT. ALL ENVIRONMENTAL REMEDIATION WILL BE COMPLETED BY OWNER PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE UNLESS SPECIFICALLY SHOWN TO BE REMOVED.
- ALL UTILITIES AND STRUCTURES LOCATED WITHIN 5 FEET OF THE PROPOSED BUILDING LOCATION SHALL BE COMPLETELY REMOVED AND THE EXCAVATION BACKFILLED WITH SELECT GRANULAR MATERIAL. ALL REMAINING UTILITIES AND STRUCTURES LOCATED WITHIN THE PROJECT AREA SHALL BE REMOVED TO A DEPTH OF 2- FEET BELOW PROPOSED FINISHED GRADE.
- ALL PIPES TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET NON-SHRINK CONCRETE MORTAR PLUGS. ANY STRUCTURES TO REMAIN SHALL HAVE THE BOTTOM BROKEN TO FACILITATE DRAINAGE AND FILLED WITH SAND OR PEA GRAVEL.
- ALL EXISTING TREES, BRUSH, AND MISCELLANEOUS APPURTENANCES, SUCH AS FENCES, WHEEL STOPS, POLES LIGHTS AND MISCELLANEOUS DEBRIS SHALL BE HAULED TO AN OFFSITE LOCATION.
- THE CONTRACTOR SHALL ENSURE THAT ALL ADJOINING AREAS, INCLUDING ADJACENT STREETS AND DRIVEWAYS, SHALL BE FREE OF DEBRIS AT ALL TIMES.
- PAVEMENT, CURB AND GUTTER AND SIDEWALK SHALL BE SAWCUT FULL DEPTH AT THE LIMITS OF REMOVAL.
- ALL TREES TO REMAIN SHALL BE PROTECTED WITH SILT FENCE OR ORANGE CONSTRUCTION FENCES. PROTECTIVE FENCING SHALL BE PLACED AT THE DRIP LINE OF THE TREE TO BE SAVED. CONSTRUCTION WITHIN THE FENCE WITHOUT PERMISSION FROM THE OWNER OR MUNICIPALITY IS STRICTLY PROHIBITED.
- EXISTING WELLS ENCOUNTERED SHALL BE EXCAVATED, SEALED AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
- EXISTING SEPTIC FIELDS ENCOUNTERED SHALL BE EXPOSED, DRAINED AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
- ANY DAMAGE DONE TO EXISTING STRUCTURES OR OBJECTS NOT SHOWN TO BE REMOVED OR REPLACED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

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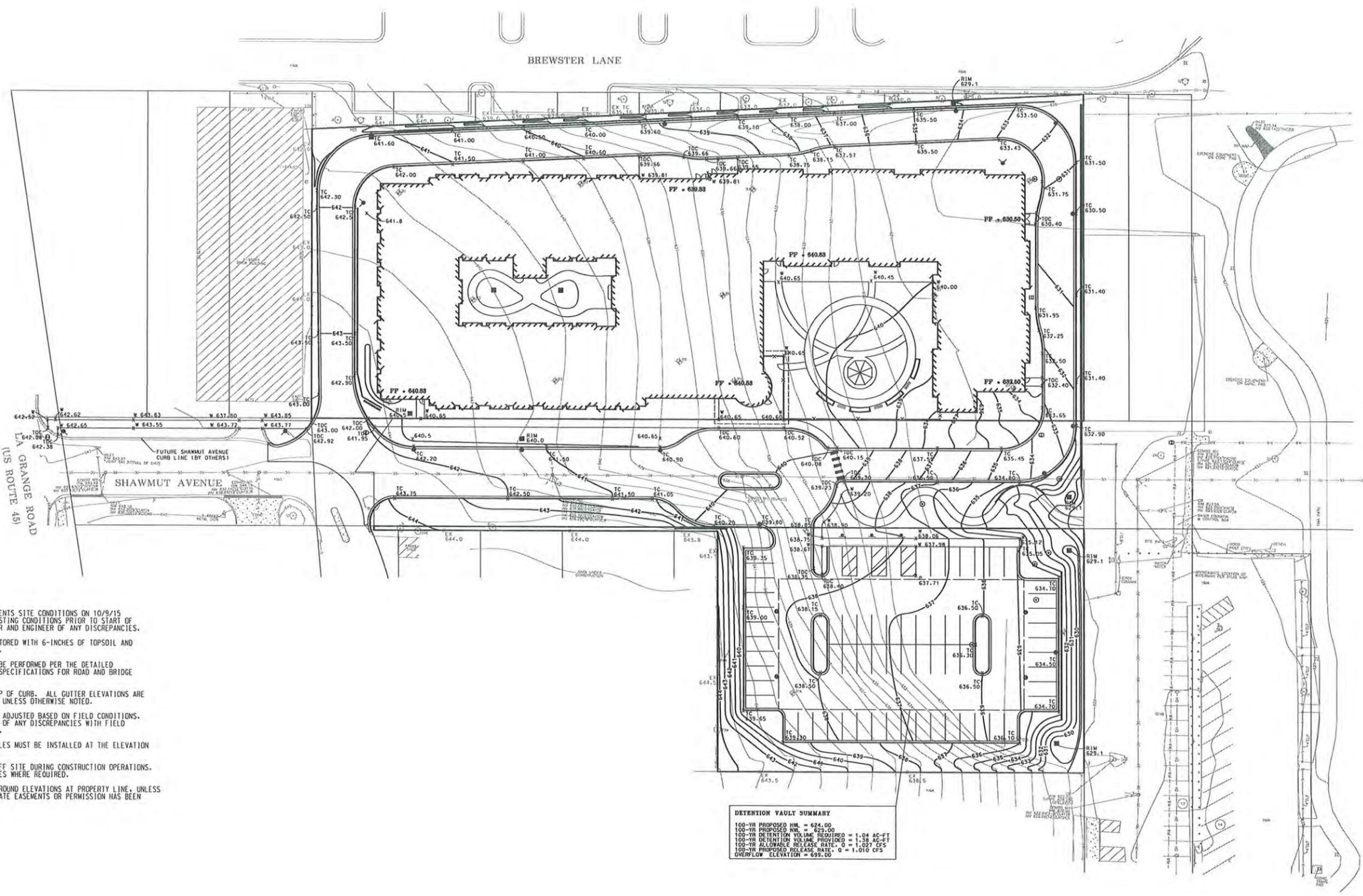
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DATE	DESCRIPTION OF REVISION	BY	SCALE
			1" = 30'

PRELIMINARY DEMOLITION PLAN
ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS

SHEET
2 OF 5
 PROJECT NUMBER: 2566
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- GRADING PLAN GENERAL NOTES**
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON 10/9/15. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
 - ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND RESTORED PER THE LANDSCAPE PLANS.
 - EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL GUTTER ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
 - GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
 - OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 - DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 - CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.

DETENTION VAULT SUMMARY

100-YR PROPOSED HW = 624.00
100-YR PROPOSED HW = 623.00
100-YR DETENTION VOLUME REQUIRED = 1.04 AC-FT
100-YR DETENTION VOLUME PROVIDED = 1.18 AC-FT
100-YR ALLOWABLE RELEASE RATE = 0 = 1.027 CFS
100-YR PROPOSED RELEASE RATE = 0 = 1.010 CFS
OVERFLOW ELEVATION = 639.00

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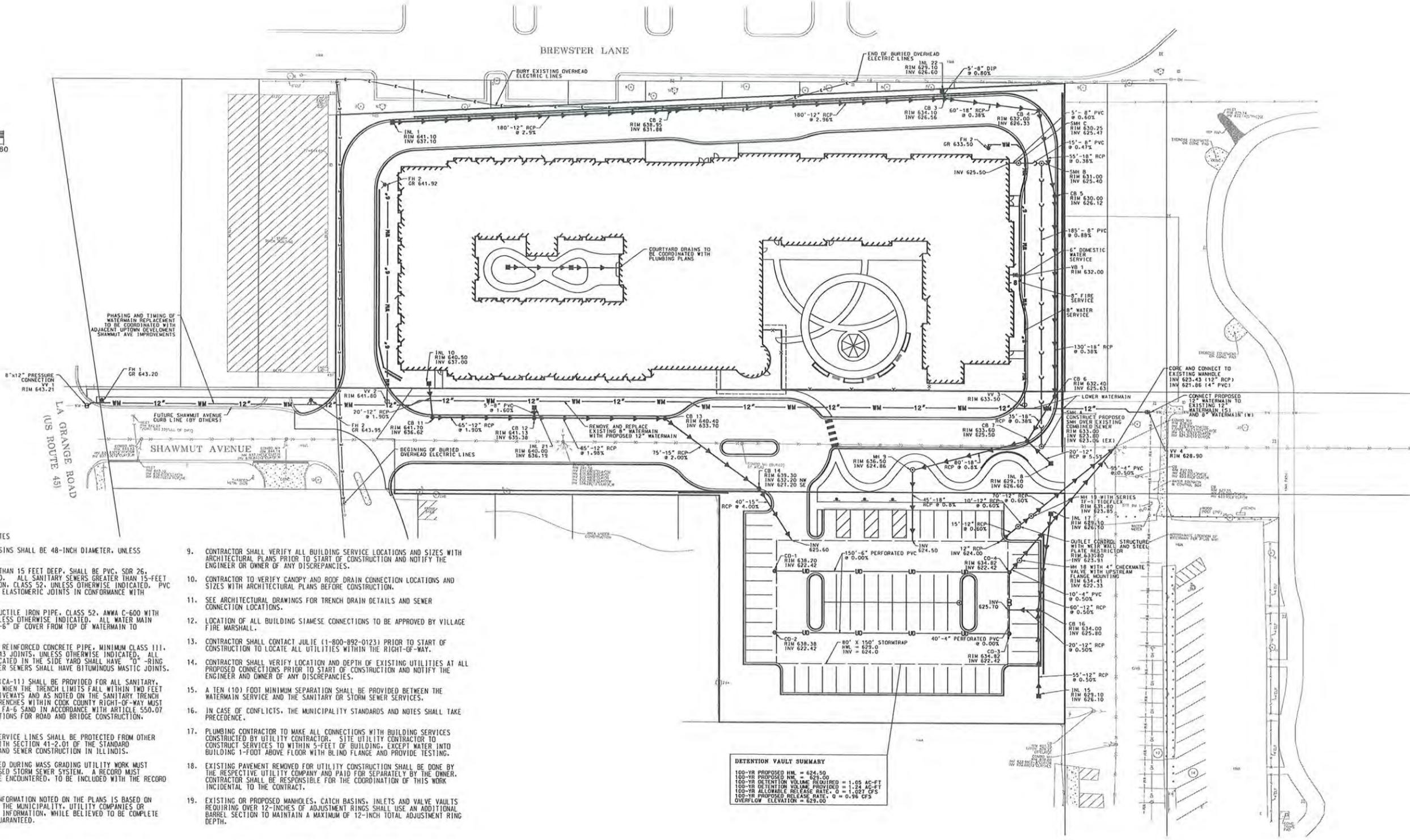
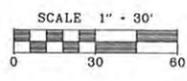
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DATE	DESCRIPTION OF REVISION	BY	SCALE
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PRELIMINARY GRADING PLAN
ASPIRED LIVING OF LA GRANGE
LA GRANGE, ILLINOIS

SHEET
3 OF 5
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UNDERGROUND UTILITY GENERAL NOTES

1. ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
2. ALL SANITARY SEWER, LESS THAN 15 FEET DEEP, SHALL BE PVC, SDR 26, UNLESS OTHERWISE INDICATED. ALL SANITARY SEWERS GREATER THAN 15 FEET DEEP, SHALL BE DUCTILE IRON, CLASS 52, UNLESS OTHERWISE INDICATED. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-3212.
3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52, ANNE C-600 WITH "PUSH-ON" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-6" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE.
4. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS 111, WITH ASTM C76 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED. ALL STORM SEWERS WHICH ARE LOCATED IN THE SIDE YARD SHALL HAVE "O"-RING GASKETED JOINTS. ALL OTHER SEWERS SHALL HAVE BITUMINOUS MASTIC JOINTS.
5. GRANULAR TRENCH BACKFILL (CA-11) SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH LIMITS FALL WITHIN TWO FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND AS NOTED ON THE SANITARY TRENCH DETAIL ON PAGE X. ALL TRENCHES WITHIN COOK COUNTY RIGHT-OF-WAY MUST BE TRENCH BACKFILLED WITH FA-6 SAND IN ACCORDANCE WITH ARTICLE 550.07 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
6. ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
7. ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT, OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED WITH THE RECORD DRAWINGS.
8. ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
9. CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
10. CONTRACTOR TO VERIFY CANOPY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
11. SEE ARCHITECTURAL DRAWINGS FOR TRENCH DRAIN DETAILS AND SEWER CONNECTION LOCATIONS.
12. LOCATION OF ALL BUILDING SIAMSE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHALL.
13. CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
14. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
15. A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
16. IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
17. PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR TO CONSTRUCT SERVICES TO WITHIN 5- FEET OF BUILDING, EXCEPT WATER INTO BUILDING 1-FOOT ABOVE FLOOR WITH BLIND FLANGE AND PROVIDE TESTING.
18. EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
19. EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS REQUIRING OVER 12-INCHES OF ADJUSTMENT RINGS SHALL USE AN ADDITIONAL BARREL SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.

DETENTION VAULT SUMMARY

100-YR PROPOSED HWL = 624.50
100-YR PROPOSED NWL = 625.00
100-YR DETENTION VOLUME REQUIRED = 1.05 AC-FT
100-YR DETENTION VOLUME PROVIDED = 1.24 AC-FT
100-YR ALLOWABLE RELEASE RATE = 1.021 CFS
100-YR PROPOSED RELEASE RATE = 0.96 CFS
OVERFLOW ELEVATION = 629.00

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DATE	DESCRIPTION OF REVISION	BY	SCALE
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**PRELIMINARY UTILITY PLAN
 ASPIRED LIVING OF LA GRANGE
 LA GRANGE, ILLINOIS**

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4 OF 5
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**FISCAL IMPACT AND
REVENUE ANALYSIS**

**For Senior Housing in the
Village of La Grange, Illinois**

**Prepared For: Village of La Grange and Pathway Senior Living
Prepared By: Kane, McKenna and Associates, Inc.**

January, 2016

**FISCAL IMPACT STUDY
FOR THE PROPOSED SENIOR HOUSING
LA GRANGE, ILLINOIS**

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EXECUTIVE SUMMARY

Kane, McKenna and Associates, Inc. (“KMA”), has been retained by Pathway Senior Living, LLC (the “Developer”) to evaluate the fiscal impact of certain senior residential projects proposed for construction on the property located in the northern portion of La Grange, Illinois (the “Village”), near the intersection of Ogden Avenue and La Grange Road (the “Property” or “Project”). In addition to the Village, it is within the jurisdiction of Lyons Township High School District No. 204 (“District 204”) and La Grange School District No. 102 (“District 102”).

Background. The Property is located at a strategically important area within walking distance of downtown La Grange and an adjacent Metra Station. The Property is expected to be an Assisted Living building with a wing for Memory Care adjacent to the market rate housing complex being developed by Opus. Prior to any of these efforts to develop the area was home to a YMCA facility.

The proposed developer, Pathway Senior Living, is an experienced developer in the greater Chicago area of various types of senior housing facilities.

Construction and occupancy of the structure is assumed to commence in 2016-17 with all units occupied by the end of 2017 (see Exhibit 1). The projection period covers a ten year period (2017-2027), encompassing the absorption and occupancy of units and the “stabilized” period that follows, where population levels reach a constant level.

The plan currently is for the Developer to purchase the land in mid-2016 and immediately commence construction of approximately 116 units, 32 of which would be for memory care and 84 of which would be for assisted living.

Scope of Fiscal Impact Analysis. The Developer and the Village have requested that KMA estimate the projected tax revenues that would be generated for the Village, District 204, District 102, and the Park District, as well as any additional expenditures that would be incurred by the two schools and the other units of government as a result of the Project.

Besides the property tax revenues that are expected to be generated by the Project, the Village should not expect to receive any meaningful other revenues (e.g., sales tax revenues) since residents of the Project are not likely to shop, or only on a limited basis, in the area.

Due to the senior housing nature of the Project, KMA limited its review of expenditures to certain operating costs (e.g., Village emergency services-related costs). The construction of the Project is assumed not to result in capital expenditures by the Village or by the other taxing districts.

District 204 and District 102 are projected to receive additional property tax revenues from the Project. They are not projected to incur any expenditures resulting from the Project caused by any potential increase in the school-age population since the Project is for senior housing only.

Exhibit 1

Absorption Analysis for Proposed Pathway Senior Living Project (La Grange, Illinois)

		2016	2017	2018	2019	2020	2021	2022
Absorption Schedule								
<u>Housing Units Rented Per Year</u>	Avg. <u>Unit/Value^(b)</u>							
Memory Care	150,000	0	32	0	0	0	0	0
Assisted Living	150,000	0	84	0	0	0	0	0
Total Units Rented Per Year		0	116	0	0	0	0	0
<u>Cumulative Units Rented</u>								
Memory Care	150,000	0	32	32	32	32	32	32
Assisted Living	150,000	0	84	84	84	84	84	84
Cumulative Units Rented		0	116	116	116	116	116	116
<u>% Housing Units Occupied Each Year^(a)</u>	Avg. <u>Unit/Value^(b)</u>							
Memory Care	150,000	0.0%	0.0%	0.0%	0.0%	0.0%	100.0%	100.0%
Assisted Living	150,000	0.0%	0.0%	0.0%	0.0%	0.0%	100.0%	100.0%

Notes:

^(a) Assumes 50% aggregate occupancy for all new units occupied in each year

^(b) Market Value Based on KMA file data for comparables; weighted average market value estimated at approximately \$150,000 per unit

Summary of Projected Fiscal Impact. The Project is expected to generate a variety of fiscal impacts in terms of market valuations, taxable valuations and related generation of revenues to the units of governments, since the underlying property is currently exempt from property taxes. Please note that “stabilized” refers to the Project after construction has been completed and the Cook County Assessor has assessed or re-assessed the Property. Construction and occupancy is expected to occur over a 1-year period, but the analysis period covers 10 years to capture a long-term frame. For purposes of the report herein, inflation is conservatively assumed at a flat level over the 10-year period.

Exhibit 2

	Estimated Stabilized Value of Project
Market Value	\$17,400,000
Total EAV	\$ 4,742,022

The findings in this analysis with respect to the estimated fiscal impacts of the Project upon District 102 and District 204 are as follows. All figures reflect stabilized values after full occupancy is reached.

Exhibit 3

	District 102	District 204
Estimated Number of School-Age Children	0	0
Stabilized Annual Revenue	\$183,862	\$110,756
Stabilized Annual Operating Expenses	\$0	\$0
Stabilized Annual Fiscal Impact (Net Surplus)	\$183,862	\$110,756

The findings of this analysis with respect to the estimated fiscal impact of the Project upon the Village are as follows:

Exhibit 4

	Village
Stabilized Annual Revenue	\$159,401
Stabilized Annual Operating Costs (up to 6 EMT calls/mo)	\$ 6,540
Stabilized Annual Fiscal Impact (Net Surplus)	\$152,861

The findings of this analysis with respect to the estimated fiscal impact of the Project upon the Park District are as follows:

Exhibit 5

	Park District
Stabilized Annual Revenue	\$22,447
Stabilized Annual Operating Costs	\$0
Stabilized Annual Fiscal Impact (Net Surplus)	\$22,447

I. INTRODUCTION

KMA has been retained by the Developer with the consent of the Village to evaluate the fiscal impact of the proposed Project to be constructed on the Property situated near the northeastern corner of La Grange Road and Ogden Avenue.

A. Project Background

As proposed, the Project would involve the construction of 116 units, 84 units of which would be for assisted living and 32 units of which would be for memory care. Rents per unit are projected at the higher end of the scale.

B. Caveats for the Fiscal Impact Analysis

The purpose of this analysis is to identify the fiscal impact of the Project upon District 102, District 204, the Park District, and the Village. As noted in the Executive Summary, KMA forecasts that the Project will generate substantial new taxes to these units of government.

To facilitate the analysis, no allowances are made in this analysis for the effects of inflation on expenditures and revenues. Specifically, no provision is made for: (i) appreciation of real estate property values and the resulting increase in higher property tax revenues from such appreciation; and (ii) potential changes in property tax rates or assessment rate calculations. The primary objective is to show the relationship between revenues and expenditures. The amounts shown in future years merely represent this relationship.

Please note that due to the use of Microsoft Excel spreadsheets to provide calculations herein, some figures presented may vary slightly from figures using a calculator due to the rounding difference. The differences are minimal and do not materially change the findings presented herein.

II. METHODOLOGY FOR ESTIMATING PROPERTY TAX REVENUE

Estimated property tax collections to be generated by the Project are based upon the following: Developer-generated data and assumptions (including a property tax study performed for the Developer), KMA's internal and external sources (including property tax information for comparable properties available to KMA), and Cook County assessment practices.

In order to calculate future property tax revenues, the year for total absorption of the structure is when all units have been occupied – for property tax estimation purposes – and is assumed to be tax levy year 2017 (payable in 2018). The estimate of the absorption may be modified as needed.

For purposes of determining the total equalized assessed value (“Total EAV”) of the completed Project, the analysis assumes that the assessed value of the Property will be determined based on certain market values. For the report herein, KMA assumed a weighted average of approximately \$150,000 per rental unit.

At full absorption, the Project is projected to result in a Total EAV of \$4,742,022 (see Exhibit 6). Since the current use is tax-exempt, the current EAV does not need to be subtracted from the estimated Total EAV (i.e., there is no “netting out” of existing values to reflect the fiscal impact of the Project).

The Total EAV of the Project was calculated by multiplying the market value as determined by the Cook County Assessor by the assessment rate of 10%, and further multiplied by the 2014 State Equalization Factor of 2.7253. The equalizer can be updated as needed.

A. Projected Total Market Value and Equalized Assessed Value

The following exhibit provides a projection of the total market value of the Project. The total market value of the Project after absorption is projected to be approximately \$17,400,000.

Exhibit 6

Pro Forma Real Property Tax Analysis

Tax Levy Year (Year of Occupancy)	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026
Tax Collection Year	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
Current Land Value (Assessor) ⁽¹⁾	0	0	0	0	0	0	0	0	0	0	0
Memory Care	0	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000	4,800,000
Assisted Living	0	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000	12,600,000
Total Market Value	0	17,400,000									
Effective Assessment Rate ⁽²⁾	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%
Assessed Value	0	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000
Total Assessed Value for Residential	0	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000	1,740,000
Total Aggregate Assessed Value for Project	0	1,740,000									
2014 State Equalization Factor	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253	2.7253
Total Equalized Assessed Value⁽³⁾	0	4,742,022									

Notes:

- (1) Based on 0-00 classification (exempt)
- (2) Per County
- (3) Assumes No Inflation Factor

B. Current Equalized Assessed Value

Because, as mentioned, parcels are currently tax-exempt, the current EAV for purposes of the report herein is set at zero. The equalized assessed values for these parcels were verified per the Cook County Assessor.

C. Tax Rate Assumptions

Tax year 2014 assumptions were used, based upon the tax rates in effect for tax code 21030.

D. Risks Associated with the Projections

The calculations in this Study hereof present a projection of revenues based upon the construction and occupancy of the Project in accordance with the absorption schedules herein and modified in consultation with the Village. Any changes in assumptions would require revision of the projections.

Legislation and regulations at all levels of government have affected and may continue to affect revenue projections for the Project. These estimates are based upon legislation and regulations currently in effect. If future legislation or regulations related to property tax assessment, collections or distributions or general state aid distribution are enacted, such legislation or regulations could have a material effect on the availability of property taxes and general state aid.

Risks associated with the development and the ultimate generation of property taxes and include, but are not limited to, the following:

- Cook County's method used to assess such properties may be altered for both the value of new structures and land value, which may result in a potentially reduced or altered valuation in a particular year. The state equalization multiplier is also subject to change annually.
- Any changes in the Cook County formulas for determining valuation.
- Any changes in state and/or local tax rates.

III. FISCAL IMPACT OF PROJECT UPON DISTRICT 102

A. Assumptions Relating to Analysis of District 102 Revenues and Expenditures

With respect to the analysis of revenues generated by the Project, the recurring property taxes from the completed Project are not fully realized until the tax levy year 2017 (collectable in 2018). As noted, the Project will be implemented over time so incremental revenues will rise over time, prior to stabilization.

With respect to the following analysis, the additional property tax revenues were determined using District 102's 2014 property tax rate (3.858%) as provided by the Cook County Clerk.

B. Fiscal Impact of the Project

The following Exhibit 7 summarizes the fiscal impact of the Project on District 102.

1. District 102 Revenues

The analysis in Exhibit 7 projects the estimated amount of property tax to be generated by the Project for District 102 from tax levy year 2017 (collected in 2018).

Property Taxes

The projections in the exhibit below summarize the estimated total amount of property tax revenues to be generated by the Project for District 102. The projection of the total amounts of the additional property tax revenues for tax levy year 2017 (collected in 2018) is based on the absorption assumptions above.

Based upon a total projected stabilized equalized assessed value after completion of the Project, the development is projected to generate approximately \$183,862 of additional annual property tax revenues after completion of the Project.

School District 102 Fiscal Impact

Prop. Tax Levy Year	Equalized		Property Tax Revenue ⁽²⁾	No. New Students	State Aid Per Student	Gen. State Aid ⁽³⁾	Interest Earnings ⁽⁴⁾	Total Revenues	Additional Operating Expenses			Annual Fiscal Impact
	Assessed Value	Tax Rate ⁽¹⁾							No. New Students	Annual Instr. Exp./ Pupil ⁽⁵⁾	Net Additional Inst. Exp.	
2016	0	3.858%	0	0	0	0	0	0	0	0	0	0
2017	4,742,022	3.858%	0	0	0	0	0	0	0	0	0	0
2018	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2019	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2020	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2021	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2022	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2023	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2024	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2025	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2026	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2027	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2028	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2029	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2030	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2031	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2032	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2033	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2034	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2035	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2036	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2037	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2038	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2039	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2040	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
2041	4,742,022	3.858%	182,947	0	0	0	915	183,862	0	7,751	0	183,862
Totals			4,390,733			0	21,954	4,412,687			0	4,412,687

Notes:

⁽¹⁾2014 Tax Rate for Tax Code

⁽²⁾Property Tax Revenues are based on property being assessed in the year of occupancy and collectible the following year

⁽³⁾Calculation for General State Aid assumes a one year lag

⁽⁴⁾Interest earnings based on 0.5% of Current Property Tax

2. District 102 Expenditures

Due to no increase in the school age population, annual instructional expenditures are forecast to remain the same.

3. Net Fiscal Impact to District 102

The analysis attached indicates that the projected annual operating revenues will be \$183,862 in the years following the completion of the Project, resulting in a positive impact upon the school district.

C. Summary

The Project is expected to generate new annual revenues of \$183,862 full absorption. Additionally, pursuant to the Illinois Property Tax Extension Limitation Law (PTELL), the County may designate some or all of the new buildings within the Project area as “new construction”; as such, property tax revenues related to the new construction would not apply toward the PTELL tax cap in the first year it is reflected in County Assessor records (i.e., it is allowed as an exemption from the PTELL tax cap in the initial year).

IV. FISCAL IMPACT OF PROJECT UPON DISTRICT 204

A. Assumptions Relating to Analysis of District 204 Revenues and Expenditures

With respect to the analysis of revenues generated by the Project, the recurring property taxes from the completed Project are not fully realized until the tax levy year 2017 (collectable in 2018). As noted, the Project will be implemented over time so incremental revenues will rise over time, prior to stabilization.

With respect to the following analyses, the additional property tax revenues were determined using District 204's 2014 property tax rate (2.324%) as provided by the Cook County Clerk.

B. Fiscal Impact of the Project

The following Exhibit 8 summarizes the fiscal impact of the Project on District 204.

1. District 204 Revenues

The analysis in the exhibit below projects the estimated amount of property tax to be generated by the Project for District 204 from tax levy year 2017 (collected in 2018).

Property Taxes

The projections in Exhibit 8 summarize the estimated total amount of property tax revenues to be generated by the Project for District 204. The projection of the total amounts of the additional property tax revenues for tax levy year 2017 (collected in 2018) is based on the absorption assumptions provided above.

Based upon a total projected stabilized equalized assessed value after completion of the Project, the development is projected to generate approximately \$110,756 of additional annual property tax revenues after completion of the Project.

School District 204 Fiscal Impact

Prop. Tax Levy Year	Equalized Assessed Value	Tax Rate ⁽¹⁾	Property Tax Revenue ⁽²⁾	No. New Students	State Aid Per Student	Gen. State Aid ⁽³⁾	Interest Earnings ⁽⁴⁾	Total Revenues	Additional Operating Expenses			Annual Fiscal Impact
									No. New Students	Annual Instr. Exp./ Pupil ⁽⁵⁾	Net Additional Inst. Exp.	
2016	0	2.324%	0	0	0	0	0	0	0	0	0	0
2017	4,742,022	2.324%	0	0	0	0	0	0	0	0	0	0
2018	4,742,022	2.324%	0	0	0	0	0	0	0	10,589	0	0
2019	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2020	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2021	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2022	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2023	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2024	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2025	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2026	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2027	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2028	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2029	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2030	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2031	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2032	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2033	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2034	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2035	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2036	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2037	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2038	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2039	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2040	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
2041	4,742,022	2.324%	110,205	0	0	0	551	110,756	0	10,589	0	110,756
Totals						0	12,674	2,547,379			0	2,547,379

Notes:

⁽¹⁾2014 Tax Rate for Tax Code

⁽²⁾Property Tax Revenues are based on property being assessed in the year of occupancy and collectible the following year

⁽³⁾Calculation for General State Aid assumes a one year lag

⁽⁴⁾Interest earnings based on 0.5% of Current Property Tax

Note: Illinois School Report card data is based upon instructional expenditure per pupil, which is "instructional expenditures divided by the nine-month average daily attendance. "Instruction" includes activities dealing with the teaching of pupils or the interaction between teachers and pupils. Included here are the activities of aides or assistants of any type (clerks, graders, teaching machines, etc.), who assist in the instruction process. (Capital Outlay expenditures are excluded.)"

C. Summary

The Project is expected to generate annual revenues in excess of annual expenditures by \$110,756 at full absorption. Additionally, pursuant to the Illinois Property Tax Extension Limitation Law (PTELL), the County may designate some or all of the new buildings within the Project area as “new construction”; as such, property tax revenues related to the new construction would not apply toward the PTELL tax cap in the first year it is reflected in County Assessor records (i.e., it is allowed as an exemption from the PTELL tax cap in the initial year).

V. FISCAL IMPACT OF PROJECT UPON PARK DISTRICT

A. Assumptions Relating to Analysis of Park District Revenues and Expenditures

With respect to the analysis of revenues generated by the Project, the recurring property taxes from the completed Project are not fully realized until the tax levy year 2017 (collectable in 2018). As noted, the Project will be implemented over time so incremental revenues will rise over time, prior to stabilization.

With respect to the following analysis, the additional property tax revenues were determined using the Park District's 2014 property tax rate (0.471%) as provided by the Cook County Clerk.

B. Fiscal Impact of the Project

The following Exhibit 9 summarizes the fiscal impact of the Project on the Park District.

1. Park District Revenues

The analysis in Exhibit 9 projects the estimated amount of property tax to be generated by the Project for the Park District from tax levy year 2017 (collected in 2018).

Property Taxes

The projections summarize the estimated total amount of property tax revenues to be generated by the Project for the Park District. The projection of the total amounts of the additional property tax revenues for tax levy year 2017 (collected in 2018) is based on the absorption assumptions provided above.

Based upon a total projected stabilized equalized assessed value after completion of the Project, the development is projected to generate approximately \$22,447 of additional annual property tax revenues after completion of the Project.

Park District Fiscal Impact

Prop. Tax Levy Year	Park Dist. 2014 Tax		Property Tax	Additional Revenues				Total Revenues	No. New Residents	Annual Exp./ Resident ⁽²⁾	Net Additonal Exp.	Annual Fiscal Impact
	EAV	Rate ⁽¹⁾		Not Applicable as to usage								
				No. New Residents	Avg. Fees Per Resident ⁽²⁾	Total Fees	Interest Earnings ⁽³⁾					
2016	0	0.471%	0	0	0	0	0	0	25	0	0	
2017	4,742,022	0.471%	0	0	0	0	0	0	25	0	0	
2018	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2019	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2020	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2021	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2022	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2023	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2024	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2025	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2026	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2027	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2028	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2029	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2030	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2031	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2032	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2033	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2034	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2035	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2036	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2037	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2038	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2039	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2040	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
2041	4,742,022	0.471%	22,335	0	0	0	112	22,447	0	25	0	22,447
			536,038			0	2,680	538,718			0	538,718

Notes:

⁽¹⁾Park District 2012 Tax Rate

⁽²⁾ Not applicable

⁽³⁾Interest earnings based on 0.5% of Current Prop. Tax

C. Summary

The Project is expected to generate annual revenues in excess of annual expenditures by \$22,447 at full absorption. Additionally, pursuant to the Illinois Property Tax Extension Limitation Law (PTELL), the County may designate some or all of the new buildings within the Project area as “new construction”; as such, property tax revenues related to the new construction would not apply toward the PTELL tax cap in the first year it is reflected in County Assessor records (i.e., it is allowed as an exemption from the PTELL tax cap in the initial year).

VI. FISCAL IMPACT OF PROJECT UPON VILLAGE OF LA GRANGE

A. Assumptions for Analysis of Village Revenues and Expenditures

The Village's revenues and expenses in this study reflect recurring annual revenues and expenses related to the specific type of redevelopment generated by the Project. Unless otherwise stated herein, the fiscal impact to the Village is based upon information obtained from the Village's fiscal year end April 30, 2014 Comprehensive Annual Financial Report (the "CAFR").

For the purposes of this report, KMA has excluded revenues such as impact fees, tap-on fees, building permits, inspection fees, and other non-recurring fees since such revenues are assumed to be fixed at level to generally offset the costs of the related services. Similarly, we have assumed that all recurring revenues related to enterprises of the Village (i.e., water and sewer services) are structured to meet the expenditures of such enterprises.

The analysis of estimated revenues generated by the Project herein provides that the Village shall receive revenues only from the property tax.

Additional Property Tax Revenues

Property taxes are collected in arrears with the first year property tax collected in the second year. The recurring property taxes from the completed Project are not fully realized until the tax levy year 2017 (collectable in 2018). As noted, the Project will be implemented over time so incremental revenues will rise over time, prior to stabilization.

The incremental property taxes were determined using the Village's 2014 property tax rate (1.591%) as provided by the Cook County Clerk. The rate is inclusive of the Village Library Fund.

Village Expenditures

The Village is not expected to incur any significant additional capital expenditures with respect to the Project. Because the streets and other infrastructure improvements within the Project have not been dedicated to the Village and are assumed to be maintained by the Developer or its successors, there are no expected public infrastructure costs (operational or capital).

Further, the Project is not expected to require the Village to increase significantly operating expenditures for additional administrative, public works, or "non-core" staff. In contrast, the Project is assumed to require additional costs for EMT services, anticipating about 6 calls per month or about \$6,540 annually.

B. Fiscal Impact of the Project

1. Village Revenues

Additional Property Taxes

The projections in the exhibit below summarize the estimated total amount of additional property tax revenues to be generated by the Project for the Village. The projection of the total amounts of the additional property tax revenues for tax levy year 2017 (collected in 2018) is based on the absorption assumptions provided above.

Based upon a total projected stabilized equalized assessed value of \$4,742,022 after Project completion, the Project is projected to generate approximately \$75,446 of annual additional property tax revenues (stabilized) for the Village.

Exhibit 10

Village Fiscal Impact

Year of Occupancy	Property Taxes	Total Revenues	Less: Additional Operating Expenses**	Annual Fiscal Impact
2016	0	0	0	0
2017	75,446	75,446	0	75,446
2018	75,446	75,446	6,540	68,906
2019	75,446	75,446	6,540	68,906
2020	75,446	75,446	6,540	68,906
2021	75,446	75,446	6,540	68,906
2022	75,446	75,446	6,540	68,906
2023	75,446	75,446	6,540	68,906
2024	75,446	75,446	6,540	68,906
2025	75,446	75,446	6,540	68,906
2026	75,446	75,446	6,540	68,906
2027	75,446	75,446	6,540	68,906
2028	75,446	75,446	6,540	68,906
2029	75,446	75,446	6,540	68,906
2030	75,446	75,446	6,540	68,906
2031	75,446	75,446	6,540	68,906
2032	75,446	75,446	6,540	68,906
2033	75,446	75,446	6,540	68,906
2034	75,446	75,446	6,540	68,906
2035	75,446	75,446	6,540	68,906
2036	75,446	75,446	6,540	68,906
2037	75,446	75,446	6,540	68,906
2038	75,446	75,446	6,540	68,906
2039	75,446	75,446	6,540	68,906
2040	75,446	75,446	6,540	68,906
Totals	1,810,694	1,810,694	150,420	1,660,274

**Assumes 6 EMT calls at \$1,090 per call

2. Village Expenditures

Regarding the Total Adjusted Expenditures, it should be noted that certain “sunk costs” are not included – e.g., municipal administration costs will be incurred regardless of whether the Project goes forward or not and hence these costs are not allocated toward the Project. Total Adjusted Expenditures are derived principally from assumed incremental increases in public safety expenditures within the General Fund.

In summary, the Project is projected to generate approximately \$6,540 of annual expenditures upon completion of the Project and full occupancy.

3. Other Net Fiscal Impact to Village

The analysis in the following Exhibit 11 indicates that the projected other annual operating revenues will exceed other annual operating expenditures for the Village by approximately \$45,306 in each of the years following completion of the Project.

Exhibit 11

Other Village Revenues

Year of Occupancy	Total No. of Add.		Utility Tax Revenues		State Income Tax ⁽¹⁾		Motor Fuel Tax ⁽¹⁾		State Use Tax ⁽¹⁾		Total Other Tax Revenues
	Residents	Households	Per Household ⁽²⁾	Total Utility Taxes	Share Per Resident ⁽³⁾	Total Income Taxes	Share Per Resident ⁽³⁾	Total MFT	Share Per Resident ⁽³⁾	Total State Use Tax	
2014	0	0	169.64	0	0.00	0	0.00	0	0.00	0	0
2015	0	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2016	0	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2017	0	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2018	0	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2019	0	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2020	189	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2021	189	116	169.64	19,678	0.00	0	0.00	0	0.00	0	19,678
2022	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2023	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2024	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2025	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2026	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2027	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2028	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2029	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2030	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2031	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2032	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2033	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2034	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2035	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2036	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2037	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2038	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
2039	189	116	169.64	19,678	95.40	18,031	23.50	4,442	16.70	3,156	45,306
Totals				491,950		324,551		79,947		56,813	953,262

Notes:

- (1) Based on incremental units occupied; revenues relating to taxes shared by State are not assumed to be collected until after the 2020 Census
- (2) Determined by allocating the utilities taxes (gas, electric, telecommunications) budget for FY 2013 of \$1,082,668 between residential users and all other users by the percentage of EAV applicable to each (90% residential) and dividing the residential portion of the utility taxes by the Village's total housing units of 5,744 (2008-2012 American Community Survey 5-Yr. Est.)
- (3) Based on projected FY 2014 State Distributions (Illinois Municipal Review, October, 2013)

Appendix A

Sources Utilized for Analysis

- 1) Village of La Grange
- 2) Cook County Assessor's Office
- 3) Cook County Clerk's Office
- 4) Kane, McKenna and Associates, Inc. File – Real Estate Comparables
- 5) Pathway Senior Living, LLC
- 6) Ryan LLC

Aspired Living of La Grange

La Grange, Illinois

January 8, 2016

Project Overview

Pathway Development Partners is proposing the development of an assisted living facility and memory care center, named Aspired Living of La Grange, off east of Shawmut Avenue at La Grange Road, in LaGrange, IL. The development will include a proposed building with exterior courtyards, a circulation road around the building, a parking lot, and extension of Shawmut Avenue and a pedestrian extension from La Grange Road to Gordon Park on the east.

Existing Conditions

Located along existing vacated Shawmut Avenue, just east of LaGrange Road the existing site is undeveloped pervious land with 10% +/- slope from west to east. Surrounding areas include the Uptown La Grange development that is currently under construction south of the site, Gordon Park to the east, an existing condominium structure to the west, and existing access drive and parking lot for Plymouth Place to the north.

All existing stormwater currently sheet drains from west to east offsite into the existing LaGrange park district property. An existing 12 inch combined sewer runs west to east through the site along existing vacated Shawmut Avenue. At the first downstream manhole east of the site the combined sewer increases to 24 inches in size.

Proposed Conditions

The existing portion of Shawmut Avenue will provide access to the site from La Grange Road. Shawmut Avenue will be extended east on property that will continue to be owned by the Park District and will terminate in a vehicle turnaround at the main entrance of the building. The building will be located north of the access drive and the parking lot will be located south of the access drive. In addition, access is possible from Ogden Avenue through the adjacent mixed use development south of Shawmut Avenue.

The proposed building will have a walkout lower level on the east side of the building to help accommodate the large change in existing grade across the site. Retaining walls will be utilized around the site as well. The finished floor elevation of the lower level will be 630.50.

Stormwater detention will be provided in an underground storage vault (StormTrap), which has been designed to provide adequate storage in accordance with the Cook County Watershed Management Ordinance and Technical Guidance Manual. The requirements of the Ordinance will be applied to the entire project area, including the Park District owned property containing the access drive extension and pedestrian path. The proposed NWL of the Storm Trap vault is 624.5 and the proposed HWL is 629.0, which provides 1.5 feet of freeboard between the HWL and the finished floor of the lower level. An outlet control structure containing a restrictor plate

with a 4.15 inch orifice and a weir wall will be located downstream of the StormTrap outlet to satisfy the rate control requirements of the ordinance. The allowable release rate for the site, adjusted to for unrestricted area is 1.02 cfs.

Based on an impervious area of 2.51 acres, a volume control requirement of 9,111 cubic feet must be met to satisfy the ordinance. The StormTrap structure will be placed on an aggregate base, approximately 3 feet in depth, with an underdrain to provide the required volume control storage volume.

Both the StormTrap outlet and the underdrain outlet will connect to the combined sewer manhole on the 24" combined sewer located east of the site. A Tideflex TF-1 valve and Checkmate check valve will be provided on the StormTrap and underdrain outlets, respectively.

Runoff Curve Number

Project: Aspired Living of La Grange
 Location: La Grange, Cook County, IL
 File: Proposed Site Curve_Number.xlsx

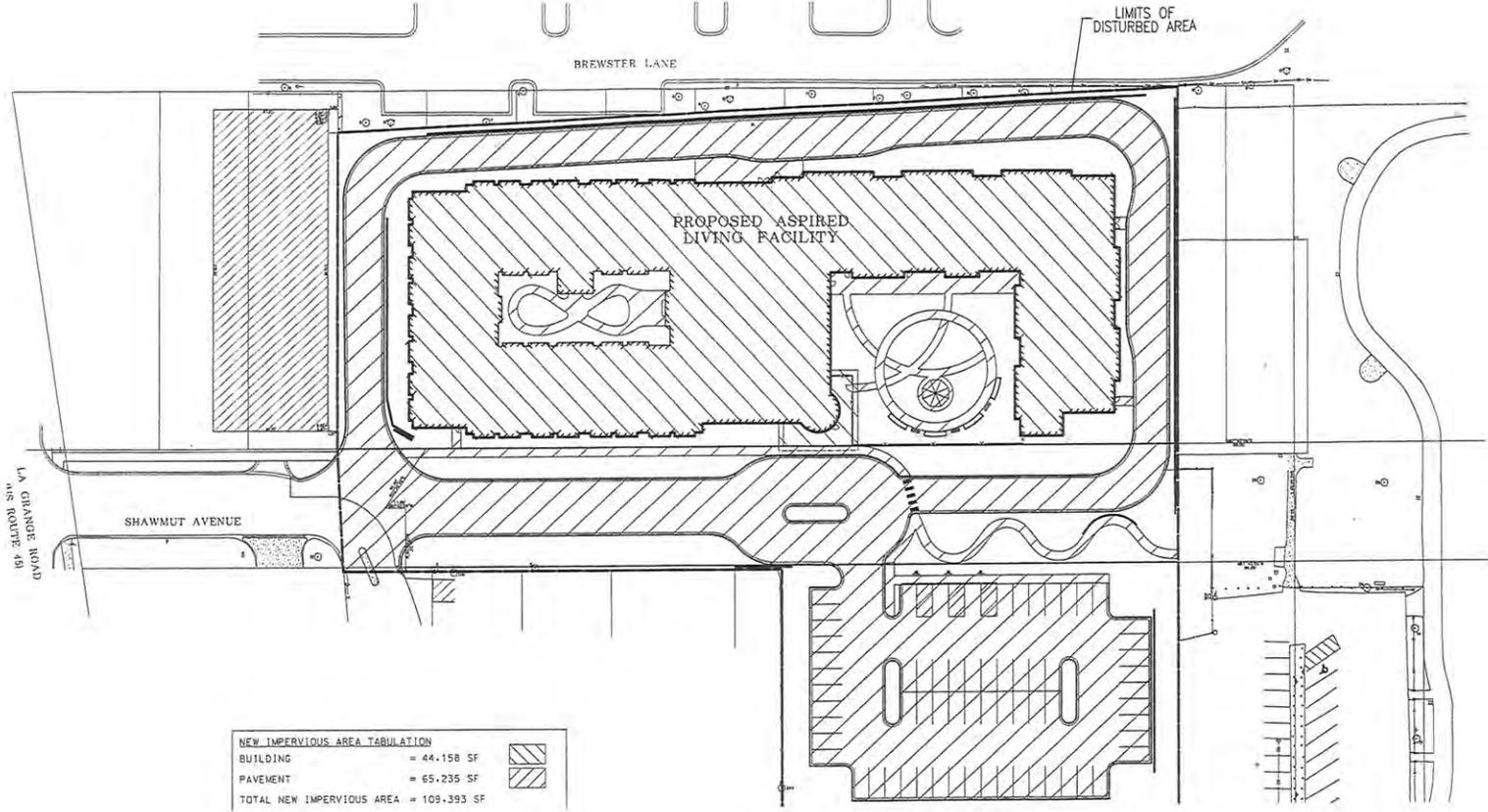
By: MLS Date: 1/8/2016
 Checked: _____ Date: 1/8/2016

Circle One: Present Developed Description: Aspired Living Facility, Roadway, and Parking Lot

Soil Name and Hydrologic Group (Appendix A)	Cover Description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	Curve Number	Area	Product of Curve Number and Area
			<input checked="" type="checkbox"/> acres <input type="checkbox"/> sq. mi. <input type="checkbox"/> %	
C	Pervious Area - Open Space, Good Condition	74	1.07	79.18
	Impervious Area - Building & Pavement	98	2.47	242.06
Totals =			3.54	321.24

$$CN \text{ (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{321.24}{3.54} = 90.746$$

Use CN = 91



Time of Concentration (T_c) or Travel Time (T_t)

Project: Aspired Living of La Grange
 Location: La Grange, Cook County, IL
 File: Proposed Time_of_Concentration.xlsx

By: MLS
 Checked: _____

Date: 1/8/2016
 Date: _____

Present / Developed
 T_c through subarea

_____ Northern Drainage Swale _____

SHEET FLOW

	Segment ID	AB	
Surface Description (table 3-1)		Dense Grass	
Manning's roughness coeff., n		0.24	
Flow Length, L (total L ≤ 100') (ft)		100	
Two-yr 24-hr rainfall, P2 (in)		3.04	
Land slope, s (ft/ft)		0.025	
$T_t = (0.007(nL)^{0.8}) / (P_2^{0.5} s^{0.4})$ (hr)		0.22	
		+	
			= 0.22 hr

SHALLOW CONCENTRATED FLOW

	Segment ID	BC			
Surface Description (paved or unpaved)		unpaved			
Flow Length, L (ft)		333			
Watercourse slope, s (ft/ft)		0.033			
Average velocity, V (ft/s)		3.69			
$T_t = L / 3600 V$ (hr)		0.03			
		+		+	
					= 0.03 hr

CHANNEL FLOW

	Segment ID		
Cross-sectional flow area, a (ft ²)			
Wetted perimeter, Pw (ft)			
Hydraulic radius, r = a/Pw (ft)			
Channel slope, s (ft/ft)			
Manning's roughness coeff., n			
$V = (1.49 r^{0.667} s^{0.5}) / n$ (ft/s)			
Flow length, L (ft)			
$T_t = L / 3600 V$ (hr)			
		+	
			= hr

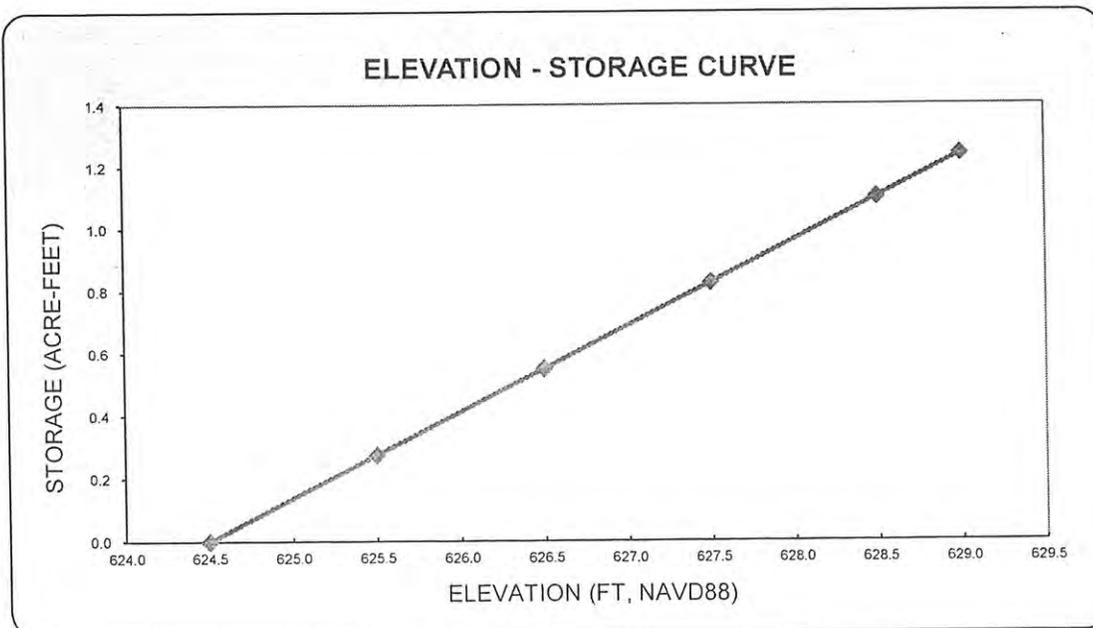
Watershed or subarea T_c or T_t

= 0.25 hr

POND:	Stormwater Vault		Side Slopes	N/A	
JOB NO.:	2586				
PROJECT:	Aspira La Grange				
FILE:	Proposed Vault Storage.xls				
DATE:	1/7/2016				

Elevation (ft)	Area		Average Area (ac)	Incremental Storage (ac-ft)	Cummulative Storage (ac-ft)
	(ft ²)	(ac)			
624.50	12,000	0.275			0.000
			0.275	0.28	
625.50	12,000	0.275			0.28
			0.275	0.28	
626.50	12,000	0.275			0.55
			0.275	0.28	
627.50	12,000	0.275			0.83
			0.275	0.28	
628.50	12,000	0.275			1.10
			0.275	0.14	
629.00	12,000	0.275			1.24

Elevation (ft, NAVD88)	Storage (ac-ft)
624.50	0.000
625.50	0.28
626.50	0.55
627.50	0.83
628.50	1.10
629.00	1.24



Runoff Curve Number

Project: Aspired Living of La Grange
 Location: La Grange, Cook County, IL
 File: Proposed Unrestricted Release Curve_Number.xlsx

By: MLS Date: 1/8/2016
 Checked: _____ Date: _____

Circle One: Present Developed Description: Unrestricted Site Release

Soil Name and Hydrologic Group (Appendix A)	Cover Description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	Curve Number	Area <input checked="" type="checkbox"/> acres <input type="checkbox"/> sq. mi. <input type="checkbox"/> %	Product of Curve Number and Area
C	Pervious Area - Open Space, Good Condition	74	0.047	3.478
C	Impervious Area	98	0.003	0.294
Totals =			0.05	3.772

$$CN \text{ (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{3.772}{0.05} = \underline{75.44}$$

Use CN = 75

EXECUTIVE CONTROL OPERATION INCREM

RECORD ID

MAIN TIME INCREMENT = .10 HOURS

EXECUTIVE CONTROL OPERATION COMPUT

RECORD ID 24 HR

FROM XSECTION 1 TO XSECTION 1

STARTING TIME = .00 RAIN DEPTH = 7.58 RAIN DURATION= 24.00 RAIN TABLE NO.= 3 ANT. MOIST. COND= 2
ALTERNATE NO.= 1 STORM NO.= 7 MAIN TIME INCREMENT = .10 HOURS

OPERATION RUNOFF CROSS SECTION 1

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .01 CFS.

PEAK TIME (HRS) PEAK DISCHARGE (CFS) PEAK ELEVATION (FEET)
23.90 .01 (RUNOFF)
15.60 .03 (RUNOFF)

TIME (HRS)	FIRST HYDROGRAPH POINT =	.00 HOURS	TIME INCREMENT =	.10 HOURS	DRAINAGE AREA =	.00 SQ. MI.
7.00	DISCHG	.00	.00	.00	.00	.01
8.00	DISCHG	.01	.01	.01	.01	.01
9.00	DISCHG	.01	.01	.01	.01	.01
10.00	DISCHG	.01	.01	.01	.01	.01
11.00	DISCHG	.01	.01	.01	.01	.01
12.00	DISCHG	.01	.01	.01	.01	.02
13.00	DISCHG	.02	.02	.02	.03	.03
14.00	DISCHG	.03	.03	.03	.03	.03
15.00	DISCHG	.03	.03	.03	.03	.02
16.00	DISCHG	.02	.02	.02	.02	.02
17.00	DISCHG	.02	.02	.02	.02	.02
18.00	DISCHG	.02	.01	.01	.01	.01
19.00	DISCHG	.01	.01	.01	.01	.01
20.00	DISCHG	.01	.01	.01	.01	.01
21.00	DISCHG	.01	.01	.01	.01	.01
22.00	DISCHG	.01	.01	.01	.01	.01
23.00	DISCHG	.01	.01	.01	.01	.01
24.00	DISCHG	.01	.01	.00		

RUNOFF VOLUME ABOVE BASEFLOW = 4.56 WATERSHED INCHES, .22 CFS-HRS, .02 ACRE-FEET; BASEFLOW = .00 CFS

EXECUTIVE CONTROL OPERATION ENDCMP

RECORD ID 100-YR

COMPUTATIONS COMPLETED FOR PASS 1

EXECUTIVE CONTROL OPERATION ENDJOB

RECORD ID

TR20 XEQ 01-05-16 19:26
 REV PC 09/83(.2)

ASPIRED LIVING - LA GRANGE, IL
 UNRES.DAT 1/5/16

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
 (A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
 A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			RUNOFF AMOUNT (IN)	PEAK DISCHARGE			
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)
	ALTERNATE 1	STORM 7											
+	XSECTION 1	RUNOFF .00	3	2	.10	.0	7.58	24.00	4.56	---	15.60	.03	440.5
1													

.03
 Unrestricted

TR20 XEQ 01-05-16 19:26
 REV PC 09/83(.2)

ASPIRED LIVING - LA GRANGE, IL
 UNRES.DAT 1/5/16

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS.....
0 XSECTION 1	.00	7
+	ALTERNATE 1	.03

1END OF 1 JOBS IN THIS RUN

Aspired Living of La Grange
La Grange, IL
1/8/2016
Summary of Site Release Rate

Unrestricted Release Rate Summary

Unrestricted Drainage Area	0.05 ac
Impervious Area	0.003 ac
Unrestricted Area Curve Number	75
Unrestricted Area Time of Concentration	10 min
Unrestricted Release Rate	0.03 cfs

Allowable Release Rate Summary

Allowable Release Rate	0.3 cfs/ac
Site Disturbed Area	3.524 ac
Site Curve Number	91
Allowable Release at HWL	1.057 cfs

Actual Allowable Release Rate Summary

Actual Allowable Release Rate = Allowable Release Rate - Unrestricted Release Rate

Actual Allowable Release Rate	1.027 cfs
Proposed Release Rate at HWL	0.96 cfs

**Proposed Site Release Rate < Actual Allowable Release Rate
(0.96 cfs < 1.027 cfs)**

PROPOSED CONDITIONS ORIFICE/WEIR STRUCTURE RATING ANALYSIS

PROJECT NAME: Aspired Living of La Grange
 PROJ. NO.: 2586
 DESCRIPTION: Stormtrap
 FILENAME: Orifice.xlsx
 DATE: 5-Jan-16

OUTLET:

ORIFICE:	4.15 IN. DIA. @ ELEV	624.5
WEIR:	5 FEET WIDE @ ELEV	629

ORIFICE FLOW EQUATION: $Q = C_d A (2gH)^{0.5}$

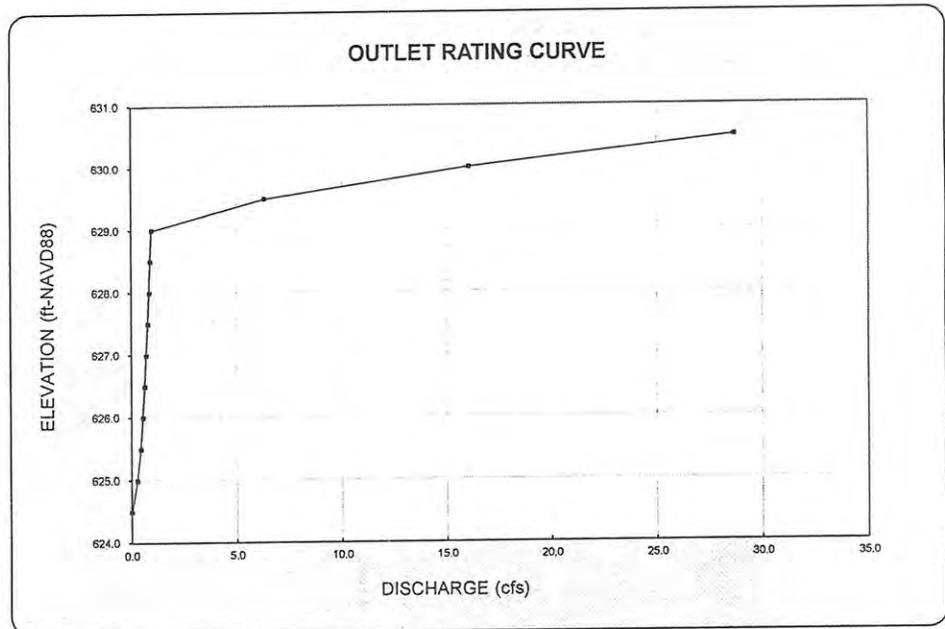
WEIR FLOW EQUATION: $Q = 3.0L(H)^{1.5}$

HYDRAULIC DIMENSIONS

	# 1
ORIFICE AREA (ft ²)	0.0939
ORIFICE DIAMETER (in)	4.15
ORIFICE DISCHARGE COEFFICIENT	0.61
ORIFICE ELEV. (ft-NAVD88)	624.50
TAILWATER OR CENTROID (ft-NAVD88)	624.673
WEIR LENGTH (ft)	5.00
WEIR COEFFICIENT	3.0
WEIR ELEV. (ft-NAVD88)	629.0

ELEVATION-DISCHARGE RELATIONSHIP

Elevation (feet)	Q-Orifice (cfs)	Q-Weir (cfs)	Q-Total (cfs)
624.5	0.00	0.00	0.00
625.0	0.26	0.00	0.26
625.5	0.42	0.00	0.42
626.0	0.53	0.00	0.53
626.5	0.62	0.00	0.62
627.0	0.70	0.00	0.70
627.5	0.77	0.00	0.77
628.0	0.84	0.00	0.84
628.5	0.90	0.00	0.90
629.0	0.96	0.00	0.96
629.5	1.01	5.30	6.31
630.0	1.06	15.00	16.06
630.5	1.11	27.56	28.67



*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TR-20	TITLE	MCI#2586	PATHWAY	LAGRANGE, IL	ACTUAL.DAT	SUMMARY	NOPLOTS
5	RAINFL 6		0.05				HUFF 1ST QUARTILE
8		0.00	0.16	0.33	0.43	0.52	
8		0.60	0.66	0.71	0.75	0.79	
8		0.82	0.84	0.86	0.88	0.90	
8		0.92	0.94	0.96	0.97	0.98	
8		1.00	1.00	1.00	1.00	1.00	
9	ENDTBL						
5	RAINFL 7		0.05				HUFF 2ND QUARTILE
8		0.00	0.03	0.08	0.12	0.16	
8		0.22	0.29	0.39	0.51	0.62	
8		0.70	0.76	0.81	0.85	0.88	
8		0.91	0.93	0.95	0.97	0.98	
8		1.00	1.00	1.00	1.00	1.00	
9	ENDTBL						
5	RAINFL 8		0.05				HUFF 3RD QUARTILE
8		0.00	0.03	0.06	0.09	0.12	
8		0.15	0.19	0.23	0.27	0.32	
8		0.38	0.45	0.57	0.70	0.79	
8		0.85	0.89	0.92	0.95	0.97	
8		1.00	1.00	1.00	1.00	1.00	
9	ENDTBL						
5	RAINFL 9		0.05				HUFF 4TH QUARTILE
8		0.00	0.02	0.05	0.08	0.10	
8		0.13	0.16	0.19	0.22	0.25	
8		0.28	0.32	0.35	0.39	0.45	
8		0.51	0.59	0.72	0.84	0.92	
8		1.00	1.00	1.00	1.00	1.00	
9	ENDTBL						
3	STRUCT	01					
8			624.50	0.000	0.000		
8			625.50	0.420	0.280		
8			626.50	0.620	0.550		
8			627.50	0.770	0.830		
8			628.50	0.900	1.100		
8			629.00	0.960	1.240		
9	ENDTBL						
6	RUNOFF 1	001	1 0.00553	91.0	0.25	0 0 0 0 0 0	
6	RESVOR 2	01 1	2 624.00			0 0 0 0 0 0	
	ENDATA						
7	INCREM 6		0.10				
7	COMPUT 7	001	01 0.0	4.47	24.0	8 2 10 24	
	ENDCMP 1						

7 COMPUT 7 001 01 0.0 7.58 24.0 8 2 99 24
ENDCMP 1
1

*****80-80 LIST OF INPUT DATA (CONTINUED)*****

ENDJOB 2
0*****END OF 80-80 LIST*****

EXECUTIVE CONTROL OPERATION INCREM RECORD ID
+ MAIN TIME INCREMENT = .10 HOURS

EXECUTIVE CONTROL OPERATION COMPUT RECORD ID
+ FROM XSECTION 1 TO STRUCTURE 1
+ STARTING TIME = .00 RAIN DEPTH = 4.47 RAIN DURATION= 24.00 RAIN TABLE NO.= 8 ANT. MOIST. COND= 2
ALTERNATE NO.=10 STORM NO.=24 MAIN TIME INCREMENT = .10 HOURS

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .38 CFS.
*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .59 CFS.

EXECUTIVE CONTROL OPERATION ENDCMP RECORD ID
+ COMPUTATIONS COMPLETED FOR PASS 1

EXECUTIVE CONTROL OPERATION COMPUT RECORD ID
+ FROM XSECTION 1 TO STRUCTURE 1
+ STARTING TIME = .00 RAIN DEPTH = 7.58 RAIN DURATION= 24.00 RAIN TABLE NO.= 8 ANT. MOIST. COND= 2
ALTERNATE NO.=99 STORM NO.=24 MAIN TIME INCREMENT = .10 HOURS

*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .67 CFS.
*** WARNING-NO PEAK FOUND, MAXIMUM DISCHARGE = .87 CFS.

EXECUTIVE CONTROL OPERATION ENDCMP RECORD ID
+ COMPUTATIONS COMPLETED FOR PASS 2

1

TR20 XEQ 01-07-16 16:12
REV PC 09/83(.2)

MCI#2586 PATHWAY LAGRANGE, IL ACTUAL.DAT

JOB 1 SUMMARY
PAGE 1

SUMMARY TABLE 1 - SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL INSTRUCTIONS IN THE ORDER PERFORMED
(A STAR(*) AFTER THE PEAK DISCHARGE TIME AND RATE (CFS) VALUES INDICATES A FLAT TOP HYDROGRAPH
A QUESTION MARK(?) INDICATES A HYDROGRAPH WITH PEAK AS LAST POINT.)

SECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RAIN TABLE #	ANTEC MOIST COND	MAIN TIME INCREM (HR)	PRECIPITATION			RUNOFF AMOUNT (IN)	PEAK DISCHARGE			
						BEGIN (HR)	AMOUNT (IN)	DURATION (HR)		ELEVATION (FT)	TIME (HR)	RATE (CFS)	RATE (CSM)
ALTERNATE 10 STORM 24													
XSECTION	1 RUNOFF	.01	8	2	.10	.0	4.47	24.00	3.47	---	15.60	1.61	291.3
STRUCTURE	1 RESVOR	.01	8	2	.10	.0	4.47	24.00	2.72	626.36	18.20?	.59?	107.2
ALTERNATE 99 STORM 24													
XSECTION	1 RUNOFF	.01	8	2	.10	.0	7.58	24.00	6.50	---	15.60	2.85	514.8
STRUCTURE	1 RESVOR	.01	8	2	.10	.0	7.58	24.00	4.47	628.28	19.20?	.87?	157.5

100 yr HWL
Q₁₀₀

TR20 XEQ 01-07-16 16:12
REV PC 09/83(.2)

MCI#2586 PATHWAY LAGRANGE, IL ACTUAL.DAT

JOB 1 SUMMARY
PAGE 2

SUMMARY TABLE 3 - DISCHARGE (CFS) AT XSECTIONS AND STRUCTURES FOR ALL STORMS AND ALTERNATES

XSECTION/ STRUCTURE ID	DRAINAGE AREA (SQ MI)	STORM NUMBERS..... 24
0 STRUCTURE 1	.01	
+ ALTERNATE 10		.59
ALTERNATE 99		.87
0 XSECTION 1	.01	
+		

ALTERNATE 10
ALTERNATE 99
1END OF 1 JOBS IN THIS RUN

1.61
2.85

Aspired Living of La Grange
La Grange, IL
1/8/2016

Volume Control Storage Requirement

Total Proposed Impervious Area 2.51 ac

$$V_C = Std_C \times \text{Unit Conversion} \times A_{\text{IMPV}}$$

$V_C = \text{Volume control storage req}$ 9,111.30 cf

$Std_C = \text{Control Standard} = 1.0 \text{ in}$ 1.0 in

Unit Conversion = 1 ft/12 in 0.0833

$A_{\text{IMPV}} = \text{Proposed Impervious area}$ 109,335.60 sf

Volume Control Storage in StormTrap Aggregate Base

Void ratio in CA-7 0.36

StormTrap vault stone base 12,464 sf

Void storage below underdrain (100%)

Depth 1 ft

Area 12,464 sf

Volume 12,464 cf

Void Volume 4,487 cf

Void storage above underdrain (50%)

Depth 2.08 ft

Area 12,464 sf

Volume 25,925 cf

Void Volume 9,333 cf

50% Void Volume 4,667 cf

Total void storage provided 9,154 cf

Volume Control Storage Provided > Volume Control Storage Required
(9,154 cf > 9,111.3 cf)

Traffic Impact Study

Aspired Living of La Grange Development La Grange, Illinois



Prepared by



January 7, 2016

Preface

In December 2014, Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) conducted a traffic impact study for the proposed Uptown La Grange development to occupy the site of the former Rich Port YMCA and Shell service station located at the northeast corner of La Grange Road and Ogden Avenue in La Grange, Illinois. The 4.3-acre site is bounded by Ogden Avenue on the south, Gordon Park on the north, Gordon Park and Locust Avenue on the east, Ogden Avenue on the south, and La Grange Road and two retail businesses on the west. The Uptown La Grange development will be a mixed-use project consisting of 278 apartment units in a five-level building and 9,200 square feet of retail space in a freestanding one-story building. The apartment building will wrap around a 417-stall parking deck for residents and visitors. A 38-space surface lot will be provided between the two buildings for retail customers and employees. Access to the property is primarily proposed from right-in/right-out (RIRO) driveways on Ogden Avenue and La Grange Road and from Shawmut Avenue, with secondary access from Locust Avenue.

Traffic capacity analyses were conducted for Year 2021 projected traffic conditions for both weekday morning and weekday evening peak hours. The projected traffic volumes included Year 2014 existing peak hour traffic volumes increased by a regional growth factor, traffic estimated to be generated by planned background developments in the area, which included the redevelopment plans of Gordon Park and a Metra commuter lot, as well as the traffic estimated to be generated by the proposed Uptown La Grange development. The capacity analyses assumed planned improvements to the intersection of La Grange Road and Ogden Avenue through the IDOT HSIP project, as well as the realignment of Locust Avenue and signalization of its intersection with Ogden Avenue. The project, which has tentatively been scheduled for a January 2016 State letting, consists of the intersection of La Grange Road and Ogden Avenue of the widening of the east leg of Ogden Avenue to provide a separate westbound right-turn lane, extending the eastbound left-turn lane on Ogden, traffic signal modernization that includes overlapping right-turn movements on the east leg of Ogden Avenue and south leg of La Grange Road, pedestrian countdown timers, and corner radius improvements. These planned improvements are included in the Year 2021 Base condition traffic capacity analyses.

The following traffic study prepared for the proposed Aspired Living of La Grange development uses the Year 2021 projected traffic volumes from the Uptown La Grange development traffic study as a base condition when analyzing the impact of the proposed Aspired Living of La Grange development on the surrounding roadway networks. As will be revealed, the proposed Aspired Living of La Grange development will have a low impact on the surrounding roadway network and no roadway or traffic control improvements are recommended or needed to accommodate the traffic estimated to be generated by the proposed development.

Introduction

This report summarizes the methodologies, results and findings of a traffic impact analysis conducted by KLOA, Inc. for the proposed Aspired Living of La Grange development to be located north of the proposed Uptown La Grange development (north of Shawmut Avenue), and east of LaGrange Tower in La Grange, Illinois. **Figure 1** shows the location of the site in relation to the area roadway system and the proposed Uptown La Grange development. **Figure 2** shows the proposed Aspired Living of La Grange development site plan.

The plans call for a five-story assisted living/memory care facility with a total of approximately 116 units, of which 84 will be assisted living and 32 will be memory care beds. A total of approximately 66 off-street parking spaces will be provided, of which three spaces will be handicap accessible. Access to the development is proposed from Shawmut Avenue via its intersection with La Grange Road. In conjunction with this development, Shawmut Avenue will be extended east along the proposed site's frontage, and will provide access to the building's port-cochere on the north side of Shawmut Avenue, and the access drive that will serve the proposed surface parking lot on the south side of Shawmut Avenue.

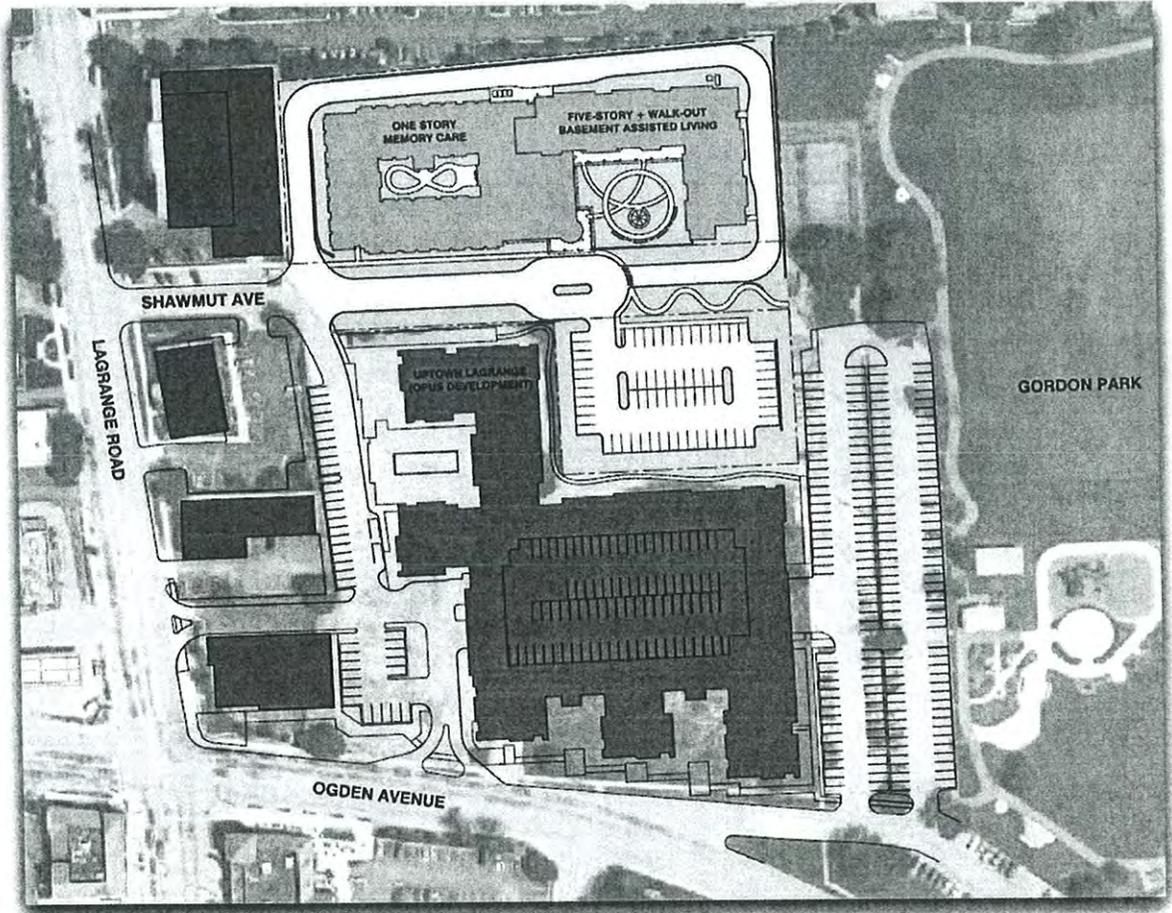
The following sections of this report present the following.

- Year 2021 Base traffic volume conditions
- A detailed description of the proposed development
- Vehicle trip generation for the proposed development
- Future transportation conditions including access to and from the development

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following two conditions.

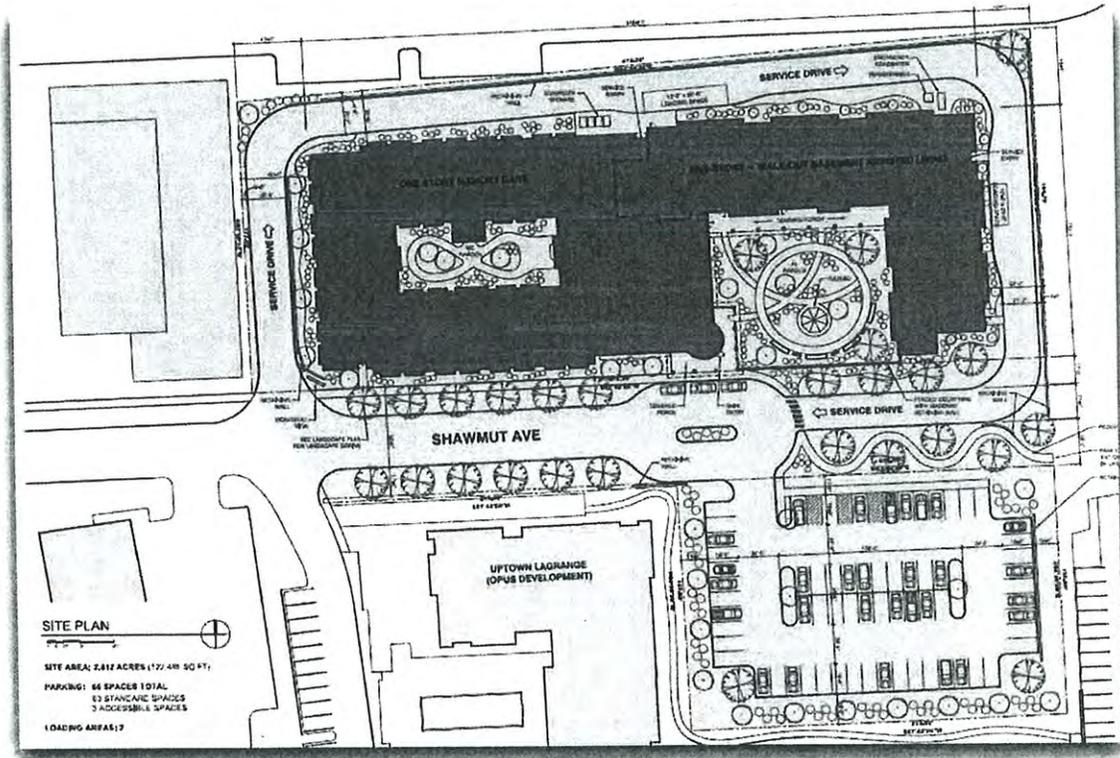
1. Year 2021 Base Condition – This condition includes regional growth in traffic, background growth from planned developments, and the proposed Uptown La Grange development traffic volumes to establish a base condition.
2. Year 2021 Total Traffic Condition – The total traffic condition includes the Year 2021 Base condition traffic volumes in addition to the traffic estimated to be generated by the proposed subject development.

The purpose of this study was to assess the impact that the proposed development would have on traffic conditions in the area and determine if any additional roadway and/or traffic control improvements are needed to mitigate this development's impact based on Year 2021 total projected traffic conditions than what is already planned regardless of the proposed subject development.



Aerial Site Location

Figure 1



Conceptual Site Plan

Figure 2

Year 2021 Base Traffic Conditions

As noted in the Preface of this report, the Year 2021 Base Traffic volumes include Year 2014 existing peak hour traffic volumes increased by a regional growth factor, traffic estimated to be generated by planned background developments in the area, which included the redevelopment plans of Gordon Park and a Metra commuter lot, as well as the traffic estimated to be generated by the proposed Uptown La Grange development. **Figure 3** shows the Year 2021 Base Traffic volumes as it applies to the study area for the proposed subject development.

Traffic Characteristics of Aspired Living of La Grange Development

To evaluate the impact of the subject development on the area roadway system, it was necessary to quantify the number of vehicle trips the overall site will generate during the weekday morning and weekday evening peak hours and then determine the directions from which this traffic will approach and depart the site.

Proposed Development Plan

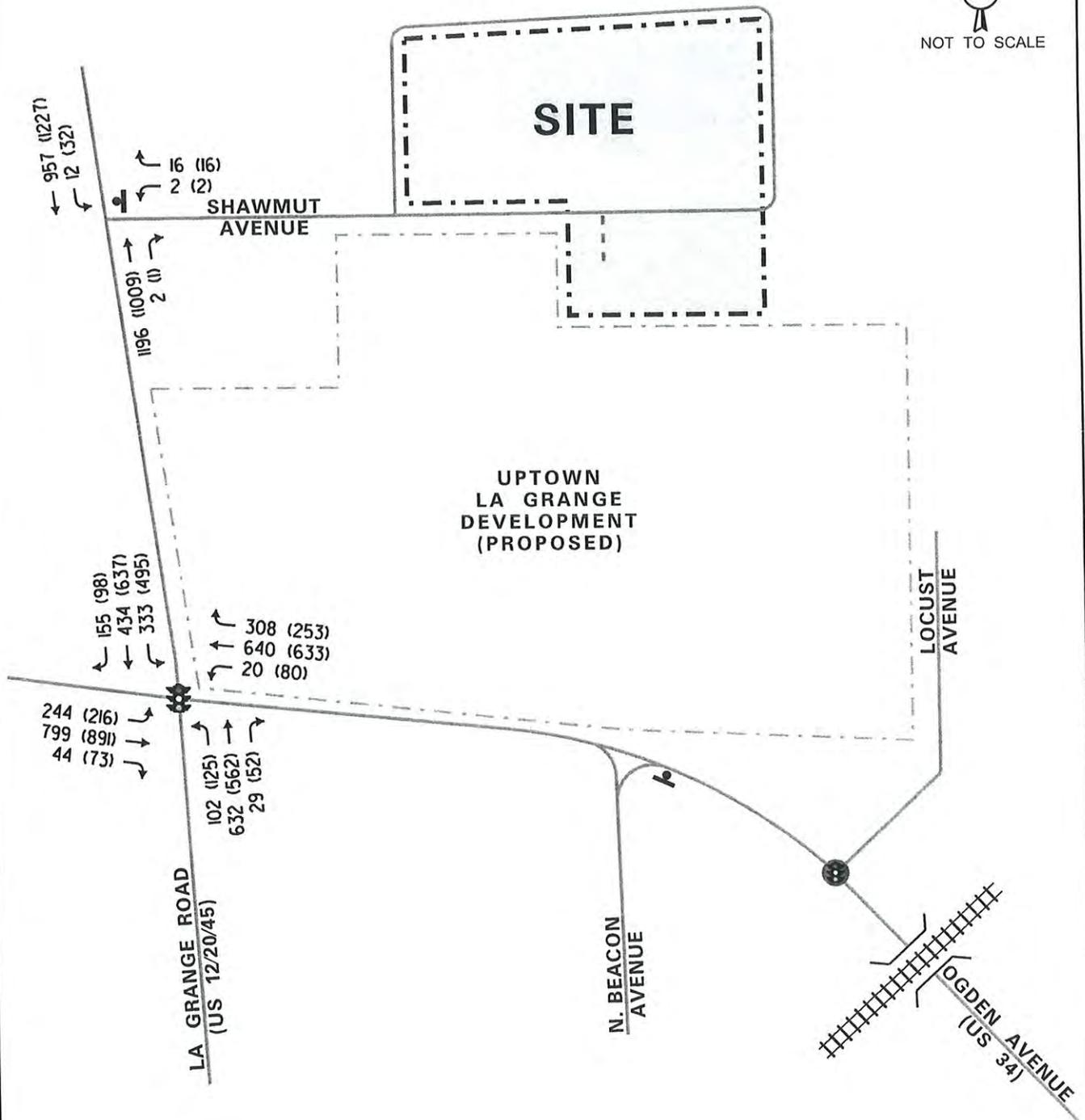
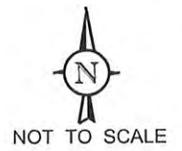
The plans call for a five-story assisted living/memory care facility with a total of approximately 116 units, of which 84 will be assisted living and 32 will be memory care beds. In conjunction with this development, Shawmut Avenue will be extended east along the proposed site's frontage, and will provide access to the building's port-cochere on the north side of Shawmut Avenue, and the access drive that will serve the proposed surface parking lot on the south side of Shawmut Avenue.

Development Parking

A total of approximately 66 off-street parking spaces will be provided, of which three spaces will be handicap accessible.

Vehicle Access

Access to the development is proposed from the extension of Shawmut Avenue via its intersection with La Grange Road. Shawmut Avenue provides a single-lane approach at its T-intersection with La Grange Road and is under stop sign control. La Grange Road provides two lanes in each direction, and a separate southbound left-turn lane is provided at Shawmut Avenue. An access driveway to the surface parking lot will be located on the south side of Shawmut Avenue and will provide one lane inbound and one lane outbound under stop sign control.



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:15-6:15 PM)

PROJECT:
Aspired Living Of
La Grange, Illinois

TITLE:
Year 2021 Base Traffic Volumes

KLOA
Job No: 16-003
Figure: 3

Directional Distribution of Development Traffic

The directional distribution of how development traffic will approach and depart the site was estimated based on a combination of the previously established directional distribution for the area, in addition to the orientation and physical restrictions of the surrounding roadway system. The estimated directional distribution for the proposed development was established and is illustrated in **Figure 4**.

Development Traffic Generation

The estimate of vehicle traffic to be generated by the development is based upon the proposed land use type and size. The volume of traffic generated for the proposed development was estimated using data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th Edition. **Table 1** tabulates the total trips anticipated from this proposed development for the weekday morning and weekday evening peak hours, as well as the daily, two-way (in and out) traffic volumes.

Table 1
ESTIMATED DEVELOPMENT-GENERATED TRAFFIC VOLUMES

Land Use/Density	Weekday Morning Peak Hour		Weekday Evening Peak Hour		Weekday Two-Way Daily
	In	Out	In	Out	
Assisted Living – 116 Beds ¹ (LUC 254)	10	6	11	15	308

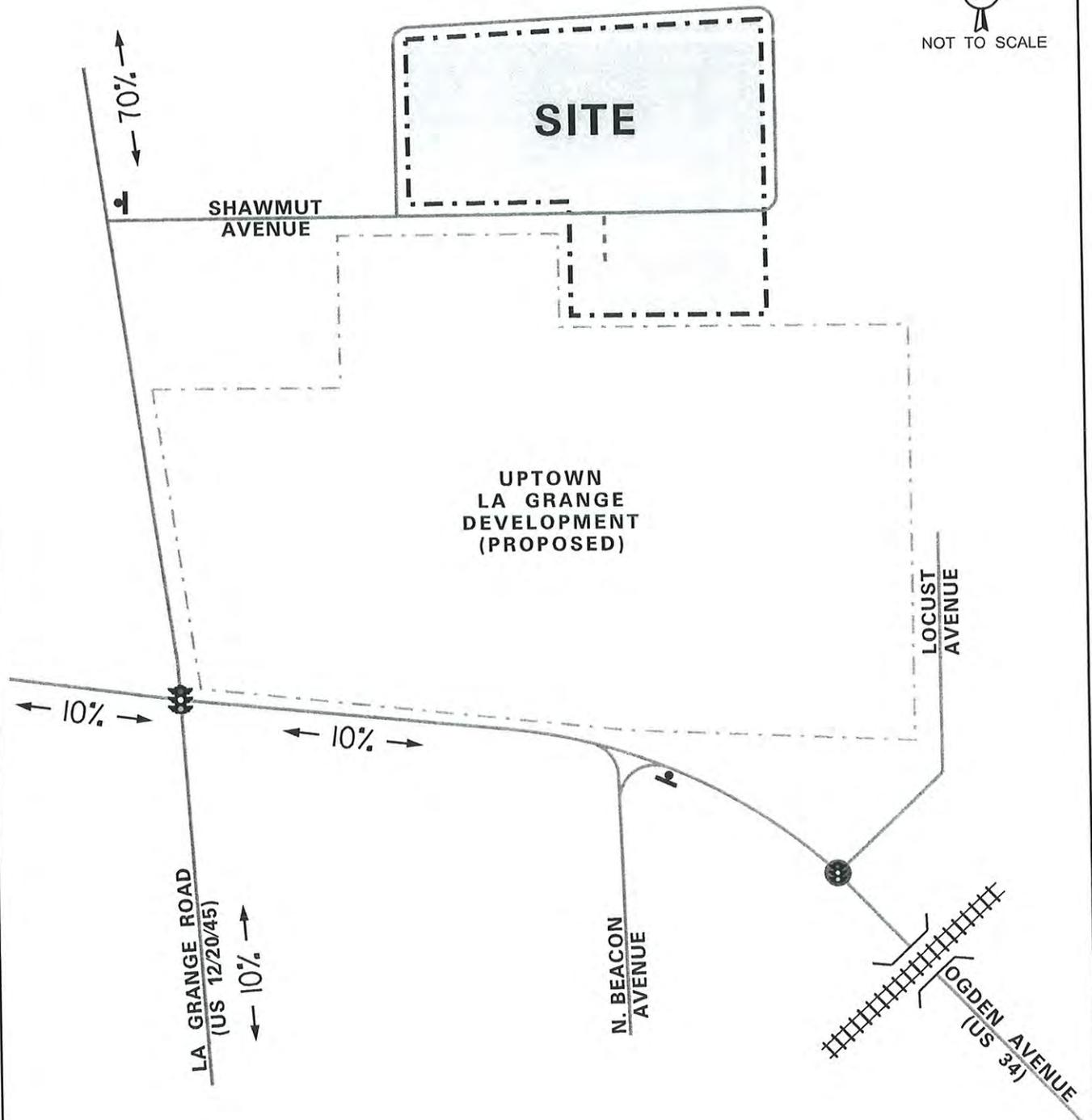
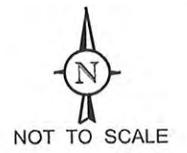
¹84 Assisted Living beds; 32 Memory Care beds.

Development Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed development (refer to Table 1) were assigned to the area roadways based on the directional distribution analysis (Figure 5). **Figure 5** shows the assignment of the development-generated traffic volumes.

Total Projected Traffic Conditions

The Year 2021 Total Projected traffic volumes include the Year 2021 Base traffic volumes (Figure 3) and the traffic estimated to be generated by the proposed subject development. **Figure 6** shows the total projected traffic volumes.



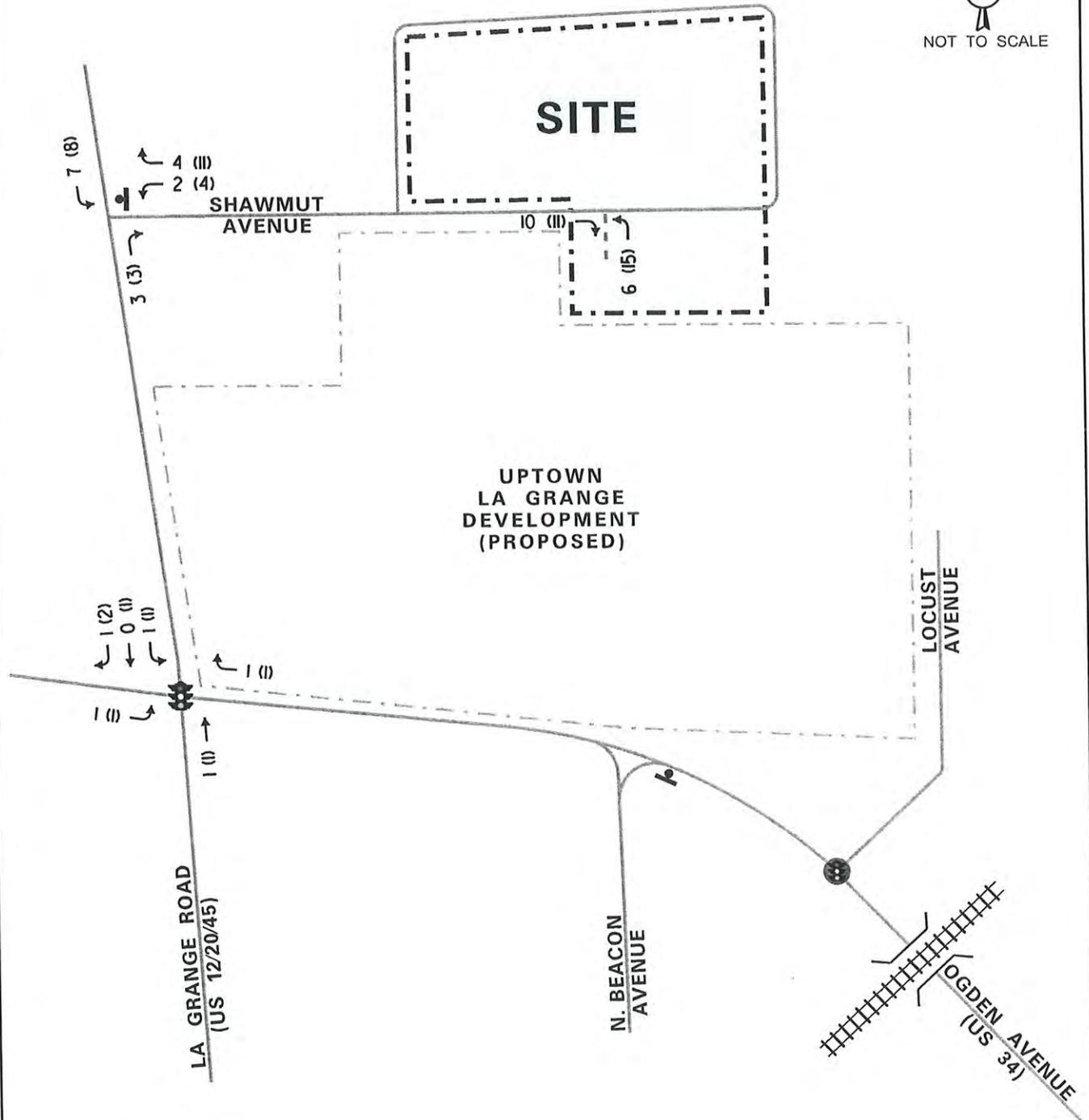
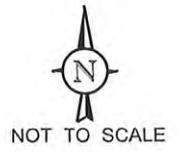
LEGEND
 00% - PERCENT DISTRIBUTION

PROJECT:
 Aspired Living Of
 La Grange, Illinois

TITLE:
 Estimated Directional Distribution



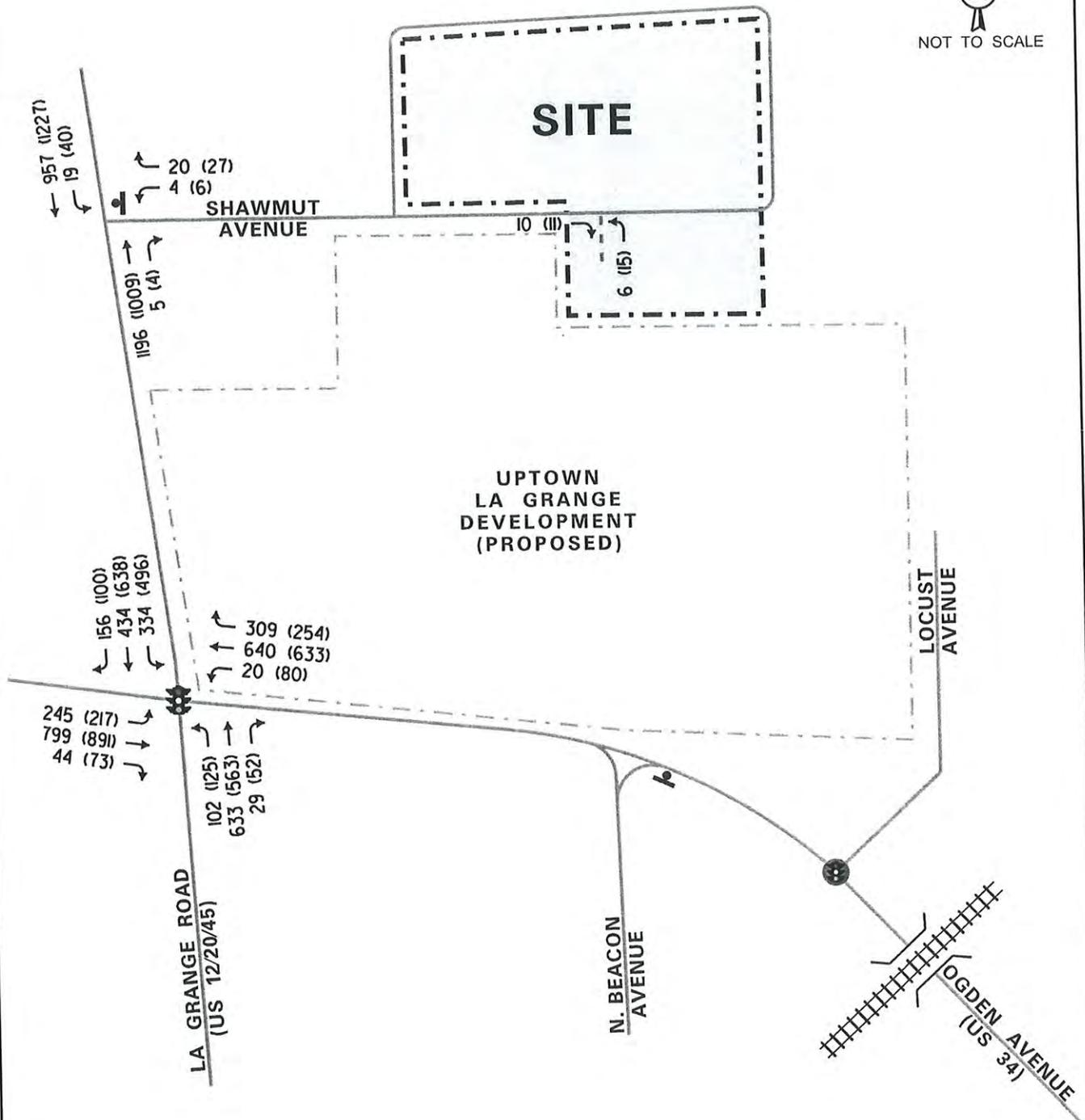
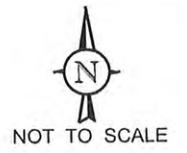
Figure: 4



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:15-6:15 PM)

<p>PROJECT:</p> <p style="text-align: center;">Aspired Living Of La Grange, Illinois</p>	<p>TITLE:</p> <p style="text-align: center;">Estimated Development-Generated Traffic Volumes</p>	<p style="text-align: right;">KLOA</p> <p style="text-align: right;">Job No: 16-003</p> <hr/> <p style="text-align: right;">Figure: 5</p>
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LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:15-6:15 PM)

<p>PROJECT: Aspired Living Of La Grange, Illinois</p>	<p>TITLE: Total Projected Traffic Volumes</p>	<p>KLOA Job No: 16-003 Figure: 6</p>
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Traffic Analysis and Recommendations

Capacity analyses were performed for the weekday morning and weekday evening peak hours for both Year 2021 Base and Year 2021 Total projected traffic volume conditions.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and using HCS 2010 analysis software.

The analysis for the traffic-signal controlled intersection of La Grange Road and Ogden Avenue were accomplished using planned roadway and traffic control improvements.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the LOS and overall intersection delay (measured in seconds) for Year 2021 Base traffic volumes (Figure 3) and Year 2021 Total projected traffic volumes (Figure 6) are presented in **Table 2** and **Table 3**, respectively.

A discussion of the intersections follows.

Table 2
CAPACITY ANALYSES RESULTS—YEAR 2021 BASE CONDITIONS

Intersection	Weekday A.M. Peak Hour	Weekday P.M. Peak Hour
	LOS – Delay	LOS – Delay
La Grange Road and Ogden Ave (signal)	D – 39.4	D – 49.8
La Grange Road and Shawmut Ave (stop sign)	SBL: B – 11.7 WBA: C – 17.7	SBL: B – 10.8 WBA: C – 16.8

LOS = Level of Service
 Delay is measured in seconds.
 SBL = Southbound left-turn movement.
 WBA = Westbound approach.

Table 3
CAPACITY ANALYSES RESULTS—YEAR 2021 TOTAL CONDITIONS

Intersection	Weekday A.M. Peak Hour	Weekday P.M. Peak Hour
	LOS – Delay	LOS – Delay
La Grange Road and Ogden Ave (signal)	D – 39.5	D – 49.9
La Grange Road and Shawmut Ave (stop sign)	SBL: B – 11.8 WBA: C – 21.2	SBL: B – 10.9 WBA: C – 22.0

LOS = Level of Service
 Delay is measured in seconds.
 SBL = Southbound left-turn movement.
 WBA = Westbound approach.

Discussion and Recommendations

The results of the capacity analyses show that with the addition of the development traffic and the regional growth in traffic, all of the intersections are projected to continue to operate at generally the same levels of service and overall intersection delay. The following is an evaluation of the analyzed intersections based on the projected traffic volumes and the capacity analyses performed.

La Grange Road and Ogden Avenue

The traffic capacity analyses for Year 2021 Base traffic conditions assumed planned improvements through the IDOT HSIP project. The project, which has tentatively been scheduled for a January 2016 State letting, consists of the following improvements.

- Widening the east leg of Ogden Avenue to provide a separate westbound right-turn lane
- Extending the eastbound left-turn lane on Ogden
- Traffic signal modernization that includes overlapping right-turn movements on the east leg of Ogden Avenue and south leg of La Grange Road
- Pedestrian countdown timers, and corner radius improvements.

As shown in Table 3, the overall intersection LOS and delay will remain the same under total projected conditions, which includes the traffic estimated to be generated by the proposed subject development. Therefore, no further roadway or traffic control improvements are needed at this intersection in conjunction with the proposed development.

La Grange Road / Shawmut Avenue

Left-turn movements from La Grange Road to Shawmut Avenue will continue to operate at a good LOS during the peak hours with short delays waiting for a gap in the flow of traffic on northbound La Grange to make the turn. Left-turn movements from Shawmut Avenue onto La Grange Road can be very difficult in the peak hours due to the stop sign control on Shawmut and the extensive southbound left-turn queuing on La Grange Road, which can extend beyond Shawmut. Very few vehicles attempt to make left-turns from Shawmut Avenue during the peak hours. Under total projected traffic conditions, with or without IDOT's HSIP project, there will continue to be delays for left-turning vehicles from Shawmut Avenue onto southbound La Grange Road as traffic volumes on La Grange Road are projected to increase over time. Southbound left-turn movements from La Grange Road onto Shawmut Avenue will continue to operate at the same peak hour service levels. The westbound approach delay will be minimally increased with the addition of the traffic estimated to be generated by the proposed

development. As such, no roadway or traffic control improvements are recommended at this intersection in conjunction with the proposed development.

Access Drive and Shawmut Avenue

The access drive to the surface parking lot to serve the proposed development will be located on the south side of Shawmut Avenue in alignment with the port-cochere serving the main pedestrian entrance to the proposed facility. The access drive will provide one lane inbound and one lane outbound under stop sign control.

Shawmut Avenue

As noted, in conjunction with this development, Shawmut Avenue will be extended east along the proposed development's frontage to provide access to the building and the access drive that will serve the facility's surface parking lot. Shawmut Avenue will continue to provide one travel lane in each direction.

No connection to Locust Avenue is proposed, nor will it be required given the low volume of traffic that will be generated by the proposed development. While it is acknowledged that the traffic delays will continue to occur at Shawmut Avenue's intersection with La Grange Road, these delays will not increase significantly, as discussed earlier, with the development traffic. It should be noted that this traffic will still have the option to access the Locust Avenue signal via the Uptown parking garage, which will have a pass-through to Locust Avenue.

Parking

The development proposes a total of approximately 66 off-street parking spaces. Based on published data by ITE ("Parking Generation", 4th Edition), the average parking demand for similar developments is 0.41 spaces per dwelling unit, or 48 parking spaces. Therefore, the proposed 66 parking spaces are more than adequate to accommodate the peak parking demand.

Conclusion

The proposed Aspired Living of La Grange development is proposed to be located north of the proposed Uptown La Grange development (north of Shawmut Avenue), and east of LaGrange Tower in La Grange, Illinois. The plans call for a five-story assisted living/memory care facility with a total of approximately 116 units, of which 84 will be assisted living and 32 will be memory care beds. A total of approximately 66 off-street parking spaces will be provided, of which three spaces will be handicap accessible. Access to the development is proposed from Shawmut Avenue via its intersection with La Grange Road. In conjunction with this development, Shawmut Avenue will be extended east along the proposed site's frontage, and will provide access to the building's port-cochere on the north side of Shawmut Avenue, and the access drive that will serve the proposed surface parking lot on the south side of Shawmut Avenue.

Based on the preceding analyses and recommendations, the following conclusions have been made.

- The proposed development will have a low traffic impact on the surrounding roadway network given the low volume of traffic it is projected to generate.
- No roadway or traffic control improvements are recommended or needed on the surrounding roadway network in conjunction with the proposed development.
- In conjunction with this development, Shawmut Avenue will be extended east along the proposed site's frontage, and will provide access to the building's port-cochere on the north side of Shawmut Avenue, and the access drive that will serve the proposed surface parking lot on the south side of Shawmut Avenue.
- The access driveway on Shawmut Avenue serving the surface parking lot will provide one lane inbound and one lane outbound under stop sign control. This access will be adequate to accommodate the approximate 66-space parking lot.
- The proposed 66 off-street parking spaces are more than adequate to satisfy peak parking demands.

Appendix

*Aspired Living of La Grange
La Grange, Illinois*



LEVEL OF SERVICE CRITERIA

Unsignalized Intersections

Level of Service	Average Control Delay (seconds per vehicle)
A	0 - 10
B	> 10 - 15
C	> 15 - 25
D	> 25 - 35
E	> 35 - 50
F	> 50

Signalized Intersections

Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤ 10
B	Good progression, with more vehicles stopping than for Level of Service A.	> 10 - 20
C	Individual cycle failures (i.e. one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	> 20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	> 35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	> 55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	> 80

Source: *Highway Capacity Manual, 2010.*

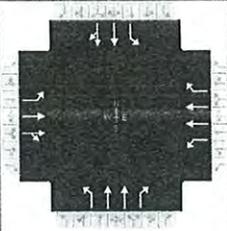
Capacity Analyses

*Aspired Living of La Grange
La Grange, Illinois*



HCS 2010 Signalized Intersection Input Data

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday AM	PHF	0.95		
Urban Street	Ogden Avenue	Analysis Year	2021	Analysis Period	1> 7:15		
Intersection	US 34/US 45	File Name	US 34 at US 45 AM 2021 Base.xus				
Project Description	16-003; La Grange, IL						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	244	799	44	20	640	308	102	632	29	333	434	155

Signal Information														
Cycle, s	125.0	Reference Phase	2											
Offset, s	0	Reference Point	Begin											
Uncoordinated	No	Simult. Gap E/W	On											
Force Mode	Fixed	Simult. Gap N/S	On											
		Green	4.1	3.5	54.0	1.6	3.9	31.9						
		Yellow	3.5	3.5	4.5	3.5	3.5	4.5						
		Red	0.0	0.0	1.5	0.0	0.0	1.5						

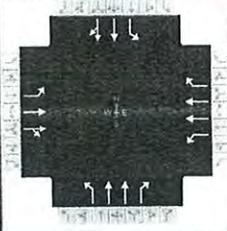
Traffic Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	244	799	44	20	640	308	102	632	29	333	434	155
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Parking (N _m), man/h		None			None			None			None	
Heavy Vehicles (P _{HV}), %	4	4		7	7	2	4	4	4	6	6	
Ped / Bike / RTOR, /h	4	0	0	12	0	0	37	0	0	18	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (AT)	3	4	3	3	3	3	4	3	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	10.0	10.0		11.0	11.0	11.0	10.0	10.0	9.0	11.0	11.0	
Turn Bay Length, ft	150	0		150	0	0	225	0	121	480	0	
Grade (P _g), %		0			0			0			0	
Speed Limit, mi/h	30	30	30	30	30	30	20	20	20	30	30	30

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	12.5	42.0	8.5	38.0	7.5	60.0	14.5	67.0
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	0.0	1.5	0.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	3	15	3	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (PT), s	3.0	7.0	3.0	7.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Min	Off	Min	Off	Min	Off	Min
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	0.0	10.0	0.0	10.0	0.0	10.0	0.0	10.0
Pedestrian Clearance Time (PC), s	0.0	21.0	0.0	17.0	0.0	19.0	0.0	18.0

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25									
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No									
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS 2010 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday AM	PHF	0.95		
Urban Street	Ogden Avenue		Analysis Year	2021	Analysis Period	1> 7:15	
Intersection	US 34/US 45		File Name	US 34 at US 45 AM 2021 Base.xus			
Project Description	16-003; La Grange, IL						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	244	799	44	20	640	308	102	632	29	333	434	155

Signal Information				EB				WB				NB				SB											
Cycle, s	125.0	Reference Phase	2	Green	4.1	3.5	54.0	1.6	3.9	31.9	Green	4.1	3.5	54.0	1.6	3.9	31.9	Green	4.1	3.5	54.0	1.6	3.9	31.9			
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	Yellow	3.5	3.5	4.5	3.5	3.5	4.5			
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5	Red	0.0	0.0	1.5	0.0	0.0	1.5	Red	0.0	0.0	1.5	0.0	0.0	1.5			
Force Mode	Fixed	Simult. Gap N/S	On																								

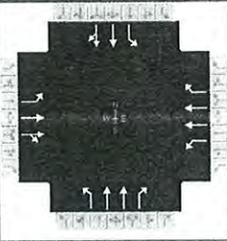
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	4.0	1.1	3.0	1.1	3.0	1.1	4.0
Phase Duration, s	12.5	45.3	5.1	37.9	7.6	60.0	14.6	67.0
Change Period, (Y+R _c), s	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Max Allow Headway (MAH), s	4.1	11.5	4.1	11.5	4.2	0.0	4.1	0.0
Queue Clearance Time (g _s), s	11.0	28.6	3.2	23.7	6.1		13.1	
Green Extension Time (g _e), s	0.0	10.7	0.0	8.2	0.0	0.0	0.0	0.0
Phase Call Probability	1.00	1.00	0.52	1.00	0.98		1.00	
Max Out Probability	1.00	1.00	1.00	1.00	1.00		1.00	

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	257	448	439	21	674	324	107	665	31	351	324	296
Adjusted Saturation Flow Rate (s), veh/h/ln	1740	1827	1792	1691	1779	1556	1740	1831	1448	1707	1792	1620
Queue Service Time (g _s), s	9.0	26.4	26.6	1.2	21.7	21.6	4.1	15.8	1.5	11.1	10.4	12.7
Cycle Queue Clearance Time (g _c), s	9.0	26.4	26.6	1.2	21.7	21.6	4.1	15.8	1.5	11.1	10.4	12.7
Green Ratio (g/C)	0.34	0.31	0.31	0.27	0.26	0.34	0.46	0.43	0.45	0.54	0.49	0.49
Capacity (c), veh/h	244	574	563	131	909	537	405	1582	645	435	875	791
Volume-to-Capacity Ratio (X)	1.053	0.780	0.780	0.161	0.741	0.603	0.265	0.421	0.047	0.807	0.370	0.375
Available Capacity (c _a), veh/h	244	575	564	176	911	538	405	1582	645	435	875	791
Back of Queue (Q), veh/ln (95 th percentile)	13.3	18.3	18.2	0.9	15.5	13.8	3.4	11.6	1.0	9.3	7.3	8.4
Queue Storage Ratio (RQ) (95 th percentile)	2.29	0.00	0.00	0.16	0.00	0.00	0.38	0.00	0.21	0.51	0.00	0.00
Uniform Delay (d ₁), s/veh	41.5	32.6	33.2	35.7	42.7	34.0	19.6	24.6	19.7	24.0	13.0	16.8
Incremental Delay (d ₂), s/veh	72.4	10.1	10.3	0.6	5.4	5.0	0.3	0.8	0.1	10.7	1.2	1.4
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	113.8	42.6	43.5	36.3	48.1	38.9	19.9	25.5	19.8	34.7	14.2	18.2
Level of Service (LOS)	F	D	D	D	D	D	B	C	B	C	B	B
Approach Delay, s/veh / LOS	59.0		E	45.0		D	24.5		C	22.8		C
Intersection Delay, s/veh / LOS	39.4						D					

Multimodal Results	EB			WB			NB			SB		
Pedestrian LOS Score / LOS	3.0		C	2.8		C	2.9		C	2.8		C
Bicycle LOS Score / LOS	1.4		A	1.3		A	1.2		A	1.3		A

HCS 2010 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday AM	PHF	0.95		
Urban Street	Ogden Avenue	Analysis Year	2021	Analysis Period	1> 7:15		
Intersection	US 34/US 45	File Name	US 34 at US 45 AM 2021 Base.xus				
Project Description	16-003; La Grange, IL						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	244	799	44	20	640	308	102	632	29	333	434	155

Signal Information				Signal Timing (s)								Signal Phases			
Cycle, s	125.0	Reference Phase	2	Green	4.1	3.5	54.0	1.6	3.9	31.9	Green	4.1	3.5	54.0	
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	Yellow	3.5	3.5	4.5	
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5	Red	0.0	0.0	1.5	
Force Mode	Fixed	Simult. Gap N/S	On												

Saturation Flow / Delay	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	0.960	1.000	1.000	1.000
Heavy Vehicle Adjustment Factor (f_{HV})	0.962	0.962	1.000	0.935	0.935	0.980	0.962	0.962	0.962	0.943	0.943	1.000
Approach Grade Adjustment Factor (f_g)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	1.000	1.000	1.000	0.952	1.000	1.000	0.952	1.000	1.000	1.000	1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.981			0.000			0.000			0.904	
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	0.999			0.999			0.996			0.996		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			0.996			0.986			0.974			0.989
Movement Saturation Flow Rate (s), veh/h	1740	3430		1691	3559		1740	3662		1707	2520	
Proportion of Vehicles Arriving on Green (P)	0.07	0.42	0.31	0.01	0.26	0.26	0.04	0.43	0.43	0.09	0.65	0.49
Incremental Delay Factor (k)	0.50	0.50	0.50	0.11	0.50	0.50	0.11	0.50	0.50	0.35	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Green Ratio (g/C)	0.34	0.31	0.27	0.26	0.46	0.43	0.54	0.49
Permitted Saturation Flow Rate (s_p), veh/h/ln	747	0	595	0	785	0	739	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	33.9	0.0	31.9	0.0	54.0	0.0	56.0	0.0
Permitted Service Time (g_u), s	10.2	0.0	10.7	0.0	46.3	0.0	38.2	0.0
Permitted Queue Service Time (g_{ps}), s	10.2		0.8		2.1		29.7	
Time to First Blockage (g_t), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{fs}), s								
Protected Right Saturation Flow (s_R), veh/h/ln				1579		1486		
Protected Right Effective Green Time (g_R), s				11.1		1.6		

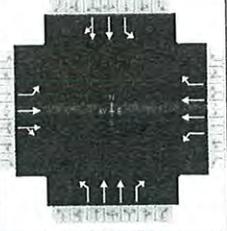
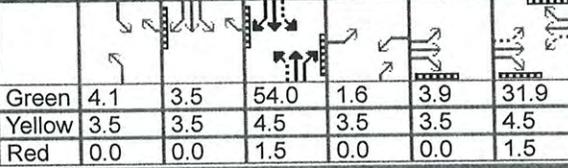
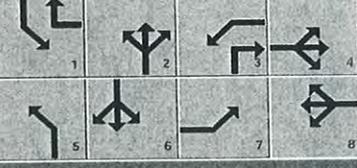
Multimodal	EB		WB		NB		SB	
Pedestrian F_w / F_v	2.224	0.00	2.107	0.00	2.224	0.00	2.107	0.00
Pedestrian F_s / F_{delay}	0.000	0.136	0.000	0.142	0.000	0.120	0.000	0.112
Pedestrian M_{corner} / M_{cw}								
Bicycle c_b / d_b	628.80	29.38	510.98	34.64	863.96	20.17	975.96	16.39
Bicycle F_w / F_v	-3.64	0.94	-3.64	0.84	-3.64	0.66	-3.64	0.80

--- Messages ---

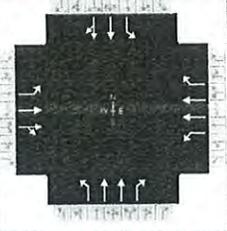
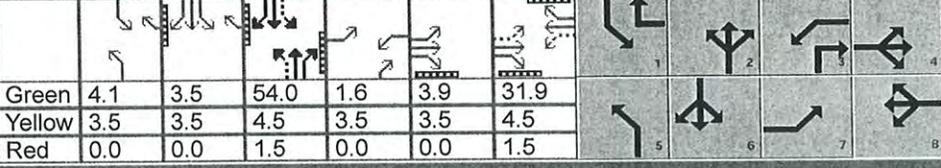
WARNING: Since queue spillover from turn lanes and spillback into upstream intersections is not accounted for in the HCM procedures, use of a simulation tool may be advised in situations where the Queue Storage Ratio exceeds 1.0.

--- Comments ---

HCS 2010 Signalized Intersection Input Data

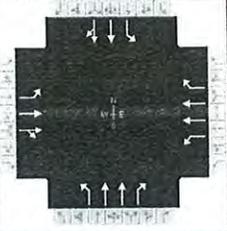
General Information				Intersection Information											
Agency	KLOA, Inc.			Duration, h	0.25										
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other										
Jurisdiction	IDOT	Time Period	Weekday AM	PHF	0.95										
Urban Street	Ogden Avenue	Analysis Year	2021 Total	Analysis Period	1 > 7:15										
Intersection	US 34/US 45	File Name	US 34 at US 45 AM 2021 Total.xus												
Project Description	14-099 Opus Development - La Grange														
Demand Information				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h				245	799	44	20	640	309	102	633	29	334	434	156
Signal Information															
Cycle, s	125.0	Reference Phase	2												
Offset, s	0	Reference Point	Begin												
Uncoordinated	No	Simult. Gap E/W	On												
Force Mode	Fixed	Simult. Gap N/S	On												
Green	4.1	3.5	54.0	1.6	3.9	31.9									
Yellow	3.5	3.5	4.5	3.5	3.5	4.5									
Red	0.0	0.0	1.5	0.0	0.0	1.5									
Traffic Information				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h				245	799	44	20	640	309	102	633	29	334	434	156
Initial Queue (Q _b), veh/h				0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h				1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Parking (N _m), man/h				None			None			None			None		
Heavy Vehicles (P _{HV}), %				4	4		7	7	2	4	4	4	6	6	
Ped / Bike / RTOR, /h				4	0	0	12	0	0	37	0	0	18	0	0
Buses (N _b), buses/h				0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (AT)				3	4	3	3	3	3	4	3	3	3	4	3
Upstream Filtering (I)				1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft				10.0	10.0		11.0	11.0	11.0	10.0	10.0	9.0	11.0	11.0	
Turn Bay Length, ft				150	0		150	0	0	225	0	121	480	0	
Grade (P _g), %					0			0			0			0	
Speed Limit, mi/h				30	30	30	30	30	30	20	20	20	30	30	30
Phase Information				EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT				
Maximum Green (G _{max}) or Phase Split, s				12.5	42.0	8.5	38.0	7.5	60.0	14.5	67.0				
Yellow Change Interval (Y), s				3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5				
Red Clearance Interval (R _c), s				0.0	1.5	0.0	1.5	0.0	1.5	0.0	1.5				
Minimum Green (G _{min}), s				3	15	3	15	3	15	3	15				
Start-Up Lost Time (I), s				2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0				
Extension of Effective Green (e), s				2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0				
Passage (PT), s				3.0	7.0	3.0	7.0	3.0	7.0	3.0	7.0				
Recall Mode				Off	Min	Off	Min	Off	Min	Off	Min				
Dual Entry				No	Yes	No	Yes	No	Yes	No	Yes				
Walk (Walk), s				0.0	10.0	0.0	10.0	0.0	10.0	0.0	10.0				
Pedestrian Clearance Time (PC), s				0.0	21.0	0.0	17.0	0.0	19.0	0.0	18.0				
Multimodal Information				EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius				0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft				9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb				0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft				12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking				No	0.50	No	0.50	No	0.50	No	0.50	No	0.50		

HCS 2010 Signalized Intersection Results Summary

General Information					Intersection Information															
Agency	KLOA, Inc.				Duration, h	0.25														
Analyst	WRW	Analysis Date	Jan 6, 2016		Area Type	Other														
Jurisdiction	IDOT	Time Period	Weekday AM		PHF	0.95														
Urban Street	Ogden Avenue		Analysis Year	2021 Total		Analysis Period	1 > 7:15													
Intersection	US 34/US 45		File Name	US 34 at US 45 AM 2021 Total.xus																
Project Description	14-099 Opus Development - La Grange																			
Demand Information					EB			WB			NB			SB						
Approach Movement					L	T	R	L	T	R	L	T	R	L	T	R				
Demand (v), veh/h					245	799	44	20	640	309	102	633	29	334	434	156				
Signal Information																				
Cycle, s	125.0	Reference Phase	2																	
Offset, s	0	Reference Point	Begin																	
Uncoordinated	No	Simult. Gap E/W	On																	
Force Mode	Fixed	Simult. Gap N/S	On																	
Green	4.1	3.5	54.0	1.6	3.9	31.9														
Yellow	3.5	3.5	4.5	3.5	3.5	4.5														
Red	0.0	0.0	1.5	0.0	0.0	1.5														
Timer Results					EBL		EBT		WBL		WBT		NBL		NBT		SBL		SBT	
Assigned Phase					7		4		3		8		5		2		1		6	
Case Number					1.1		4.0		1.1		3.0		1.1		3.0		1.1		4.0	
Phase Duration, s					12.5		45.3		5.1		37.9		7.6		60.0		14.6		67.0	
Change Period, (Y+R _c), s					3.5		6.0		3.5		6.0		3.5		6.0		3.5		6.0	
Max Allow Headway (MAH), s					4.1		11.5		4.1		11.5		4.2		0.0		4.1		0.0	
Queue Clearance Time (g _s), s					11.0		28.6		3.2		23.7		6.1				13.1			
Green Extension Time (g _e), s					0.0		10.7		0.0		8.2		0.0		0.0		0.0		0.0	
Phase Call Probability					1.00		1.00		0.52		1.00		0.98				1.00			
Max Out Probability					1.00		1.00		1.00		1.00		1.00				1.00			
Movement Group Results					EB			WB			NB			SB						
Approach Movement					L	T	R	L	T	R	L	T	R	L	T	R				
Assigned Movement					7	4	14	3	8	18	5	2	12	1	6	16				
Adjusted Flow Rate (v), veh/h					258	448	439	21	674	325	107	666	31	352	324	297				
Adjusted Saturation Flow Rate (s), veh/h/ln					1740	1827	1792	1691	1779	1556	1740	1831	1448	1707	1792	1619				
Queue Service Time (g _s), s					9.0	26.4	26.6	1.2	21.7	21.7	4.1	15.8	1.5	11.1	10.4	12.7				
Cycle Queue Clearance Time (g _c), s					9.0	26.4	26.6	1.2	21.7	21.7	4.1	15.8	1.5	11.1	10.4	12.7				
Green Ratio (g/C)					0.34	0.31	0.31	0.27	0.26	0.34	0.46	0.43	0.45	0.54	0.49	0.49				
Capacity (c), veh/h					244	574	563	131	909	537	404	1582	645	434	875	790				
Volume-to-Capacity Ratio (X)					1.058	0.780	0.780	0.161	0.741	0.605	0.266	0.421	0.047	0.810	0.371	0.376				
Available Capacity (c _a), veh/h					244	575	564	176	911	538	404	1582	645	434	875	790				
Back of Queue (Q), veh/ln (95 th percentile)					13.4	18.3	18.2	0.9	15.5	13.8	3.4	11.6	1.0	9.4	7.3	8.4				
Queue Storage Ratio (RQ) (95 th percentile)					2.31	0.00	0.00	0.16	0.00	0.00	0.38	0.00	0.21	0.52	0.00	0.00				
Uniform Delay (d ₁), s/veh					41.5	32.6	33.2	35.7	42.7	34.0	19.6	24.7	19.7	24.1	13.0	16.9				
Incremental Delay (d ₂), s/veh					73.6	10.1	10.3	0.6	5.4	5.0	0.3	0.8	0.1	11.0	1.2	1.4				
Initial Queue Delay (d ₃), s/veh					0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
Control Delay (d), s/veh					115.1	42.6	43.5	36.3	48.1	39.0	19.9	25.5	19.8	35.1	14.2	18.2				
Level of Service (LOS)					F	D	D	D	D	D	B	C	B	D	B	B				
Approach Delay, s/veh / LOS					59.3		E	45.0		D	24.5		C	23.0		C				
Intersection Delay, s/veh / LOS					39.5						D									
Multimodal Results					EB			WB			NB			SB						
Pedestrian LOS Score / LOS					3.0		C	2.8		C	2.9		C	2.8		C				
Bicycle LOS Score / LOS					1.4		A	1.3		A	1.2		A	1.3		A				

HCS 2010 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday AM	PHF	0.95		
Urban Street	Ogden Avenue	Analysis Year	2021 Total	Analysis Period	1 > 7:15		
Intersection	US 34/US 45	File Name	US 34 at US 45 AM 2021 Total.xus				
Project Description	14-099 Opus Development - La Grange						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	245	799	44	20	640	309	102	633	29	334	434	156

Signal Information													
Cycle, s	125.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On										
Force Mode	Fixed	Simult. Gap N/S	On										
		Green		4.1	3.5	54.0	1.6	3.9	31.9				
		Yellow		3.5	3.5	4.5	3.5	3.5	4.5				
		Red		0.0	0.0	1.5	0.0	0.0	1.5				

Saturation Flow / Delay	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	0.960	1.000	1.000	1.000
Heavy Vehicle Adjustment Factor (f_{HV})	0.962	0.962	1.000	0.935	0.935	0.980	0.962	0.962	0.962	0.943	0.943	1.000
Approach Grade Adjustment Factor (f_g)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	1.000	1.000	1.000	0.952	1.000	1.000	0.952	1.000	1.000	1.000	1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.981			0.000			0.000			0.903	
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	0.999			0.999			0.996			0.996		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			0.996			0.986			0.974			0.989
Movement Saturation Flow Rate (s), veh/h	1740	3430		1691	3559		1740	3662		1707	2516	
Proportion of Vehicles Arriving on Green (P)	0.07	0.42	0.31	0.01	0.26	0.26	0.04	0.43	0.43	0.09	0.65	0.49
Incremental Delay Factor (k)	0.50	0.50	0.50	0.11	0.50	0.50	0.11	0.50	0.50	0.35	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Green Ratio (g/C)	0.34	0.31	0.27	0.26	0.46	0.43	0.54	0.49
Permitted Saturation Flow Rate (s _p), veh/h/ln	747	0	595	0	784	0	738	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	33.9	0.0	31.9	0.0	54.0	0.0	56.0	0.0
Permitted Service Time (g _s), s	10.2	0.0	10.7	0.0	46.2	0.0	38.2	0.0
Permitted Queue Service Time (g _{ps}), s	10.2		0.8		2.1		30.1	
Time to First Blockage (g _t), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{fs}), s								
Protected Right Saturation Flow (s _R), veh/h/ln				1579		1486		
Protected Right Effective Green Time (g _R), s				11.1		1.6		

Multimodal	EB		WB		NB		SB	
Pedestrian F_w / F_v	2.224	0.00	2.107	0.00	2.224	0.00	2.107	0.00
Pedestrian F_s / F_{delay}	0.000	0.136	0.000	0.142	0.000	0.120	0.000	0.112
Pedestrian M_{corner} / M_{cW}								
Bicycle c_b / d_b	628.80	29.38	510.99	34.64	863.96	20.17	975.96	16.39
Bicycle F_w / F_v	-3.64	0.94	-3.64	0.84	-3.64	0.66	-3.64	0.80

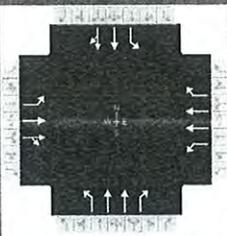
--- Messages ---

WARNING: Since queue spillover from turn lanes and spillback into upstream intersections is not accounted for in the HCM procedures, use of a simulation tool may be advised in situations where the Queue Storage Ratio exceeds 1.0.

--- Comments ---

HCS 2010 Signalized Intersection Input Data

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday PM	PHF	0.95		
Urban Street	Ogden Avenue	Analysis Year	2021	Analysis Period	1> 5:15		
Intersection	US 34/US 45		File Name	US 34 at US 45 PM 2021 Base.xus			
Project Description	16-003; La Grange, IL						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	216	891	73	80	633	253	125	562	52	495	637	98

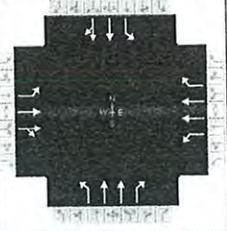
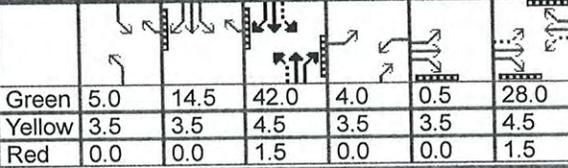
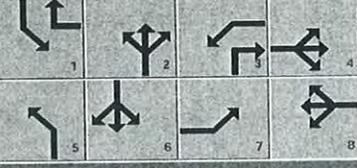
Signal Information				Signal Timing (s)								Signal Phases			
Cycle, s	120.0	Reference Phase	2	Green	5.0	14.5	42.0	4.0	0.5	28.0	1	2	3	4	
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	5	6	7	8	
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5					
Force Mode	Fixed	Simult. Gap N/S	On												

Traffic Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	216	891	73	80	633	253	125	562	52	495	637	98
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Parking (N _m), man/h		None			None			None			None	
Heavy Vehicles (P _{HV}), %	4	4		7	7	2	4	4	4	6	6	
Ped / Bike / RTOR, /h	13	0	0	13	0	0	53	0	0	31	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (AT)	3	4	3	3	4	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	10.0	10.0		11.0	11.0	11.0	10.0	10.0	9.0	11.0	11.0	
Turn Bay Length, ft	100	0		100	0	0	225	0	120	480	0	
Grade (P _g), %		0			0			0			0	
Speed Limit, mi/h	30	30	30	30	30	30	20	20	20	30	30	30

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	11.5	38.0	7.5	34.0	8.5	48.0	26.5	66.0
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	0.0	1.5	0.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	3	15	3	15
Start-Up Lost Time (l _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (PT), s	3.0	7.0	3.0	7.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Min	Off	Min	Off	Min	Off	Min
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	0.0	10.0	0.0	10.0	0.0	10.0	0.0	10.0
Pedestrian Clearance Time (PC), s	0.0	17.0	0.0	18.0	0.0	21.0	0.0	19.0

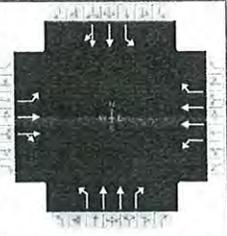
Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25									
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No									
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS 2010 Signalized Intersection Results Summary

General Information				Intersection Information											
Agency	KLOA, Inc.			Duration, h	0.25										
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other										
Jurisdiction	IDOT	Time Period	Weekday PM	PHF	0.95										
Urban Street	Ogden Avenue		Analysis Year	2021	Analysis Period	1> 5:15									
Intersection	US 34/US 45		File Name	US 34 at US 45 PM 2021 Base.xus											
Project Description	16-003; La Grange, IL														
Demand Information				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h				216	891	73	80	633	253	125	562	52	495	637	98
Signal Information															
Cycle, s	120.0	Reference Phase	2												
Offset, s	0	Reference Point	Begin												
Uncoordinated	No	Simult. Gap E/W	On												
Force Mode	Fixed	Simult. Gap N/S	On												
Green	5.0	14.5	42.0	4.0	0.5	28.0									
Yellow	3.5	3.5	4.5	3.5	3.5	4.5									
Red	0.0	0.0	1.5	0.0	0.0	1.5									
Timer Results				EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT				
Assigned Phase				7	4	3	8	5	2	1	6				
Case Number				1.1	4.0	1.1	3.0	1.1	3.0	1.1	4.0				
Phase Duration, s				11.5	38.0	7.5	34.0	8.5	48.0	26.5	66.0				
Change Period, (Y+R _c), s				3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0				
Max Allow Headway (MAH), s				4.1	11.6	4.1	11.6	4.2	0.0	4.1	0.0				
Queue Clearance Time (g _s), s				10.0	34.0	6.0	22.6	7.0		25.0					
Green Extension Time (g _e), s				0.0	0.0	0.0	5.3	0.0	0.0	0.0	0.0				
Phase Call Probability				1.00	1.00	0.94	1.00	0.99		1.00					
Max Out Probability				1.00	1.00	1.00	1.00	1.00		1.00					
Movement Group Results				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement				7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h				227	515	500	84	666	266	132	592	55	521	397	377
Adjusted Saturation Flow Rate (s), veh/h/ln				1740	1827	1773	1691	1779	1552	1740	1831	1419	1707	1792	1698
Queue Service Time (g _s), s				8.0	32.0	32.0	4.0	20.6	14.3	5.0	13.2	3.0	23.0	12.6	13.9
Cycle Queue Clearance Time (g _c), s				8.0	32.0	32.0	4.0	20.6	14.3	5.0	13.2	3.0	23.0	12.6	13.9
Green Ratio (g/C)				0.32	0.27	0.27	0.27	0.23	0.43	0.39	0.35	0.38	0.56	0.50	0.50
Capacity (c), veh/h				222	487	473	116	830	665	371	1282	546	577	896	849
Volume-to-Capacity Ratio (X)				1.023	1.057	1.057	0.724	0.802	0.401	0.355	0.462	0.100	0.903	0.443	0.444
Available Capacity (c _a), veh/h				222	487	473	116	830	665	371	1282	546	577	896	849
Back of Queue (Q), veh/ln (95 th percentile)				11.4	29.5	29.0	2.4	14.4	9.4	4.7	9.6	2.0	17.2	8.2	8.8
Queue Storage Ratio (RQ) (95 th percentile)				2.95	0.00	0.00	0.63	0.00	0.00	0.54	0.00	0.42	0.94	0.00	0.00
Uniform Delay (d ₁), s/veh				41.5	38.7	39.5	39.9	38.8	23.9	24.1	24.3	23.7	19.9	12.1	14.0
Incremental Delay (d ₂), s/veh				66.5	56.7	57.3	19.8	8.1	1.8	0.6	1.2	0.4	17.5	1.6	1.7
Initial Queue Delay (d ₃), s/veh				0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh				108.0	95.3	96.8	59.7	46.9	25.7	24.7	25.5	24.1	37.4	13.7	15.7
Level of Service (LOS)				F	F	F	E	D	C	C	C	C	D	B	B
Approach Delay, s/veh / LOS				98.2		F	42.4		D	25.3		C	23.8		C
Intersection Delay, s/veh / LOS				49.8						D					
Multimodal Results				EB			WB			NB			SB		
Pedestrian LOS Score / LOS				3.0		C	2.8		C	3.0		C	2.8		C
Bicycle LOS Score / LOS				1.5		A	1.3		A	1.1		A	1.6		A

HCS 2010 Signalized Intersection Intermediate Values

General Information					Intersection Information				
Agency	KLOA, Inc.				Duration, h	0.25			
Analyst	WRW	Analysis Date	Jan 6, 2016		Area Type	Other			
Jurisdiction	IDOT	Time Period	Weekday PM		PHF	0.95			
Urban Street	Ogden Avenue		Analysis Year	2021	Analysis Period	1> 5:15			
Intersection	US 34/US 45		File Name	US 34 at US 45 PM 2021 Base.xus					
Project Description	16-003; La Grange, IL								



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	216	891	73	80	633	253	125	562	52	495	637	98

Signal Information				Signal Timing (s)								Signal Phases			
Cycle, s	120.0	Reference Phase	2	Green	5.0	14.5	42.0	4.0	0.5	28.0	1	2	3	4	
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	5	6	7	8	
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5					
Force Mode	Fixed	Simult. Gap N/S	On												

Saturation Flow / Delay	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	0.960	1.000	1.000	1.000
Heavy Vehicle Adjustment Factor (f_{HV})	0.962	0.962	1.000	0.935	0.935	0.980	0.962	0.962	0.962	0.943	0.943	1.000
Approach Grade Adjustment Factor (f_g)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	1.000	1.000	1.000	0.952	1.000	1.000	0.952	1.000	1.000	1.000	1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.971			0.000			0.000			0.948	
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	0.997			1.000			0.991			0.989		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			0.985			0.983			0.955			0.981
Movement Saturation Flow Rate (s), veh/h	1740	3327		1691	3559		1740	3662		1707	3026	
Proportion of Vehicles Arriving on Green (P)	0.07	0.36	0.27	0.03	0.31	0.23	0.04	0.47	0.35	0.19	0.67	0.50
Incremental Delay Factor (k)	0.50	0.50	0.50	0.28	0.50	0.50	0.11	0.50	0.50	0.42	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Green Ratio (g/C)	0.32	0.27	0.27	0.23	0.39	0.35	0.56	0.50
Permitted Saturation Flow Rate (s _p), veh/h/ln	752	0	527	0	680	0	791	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	30.0	0.0	28.0	0.0	42.0	0.0	44.0	0.0
Permitted Service Time (g _u), s	7.4	0.0	0.0	0.0	42.0	0.0	28.8	0.0
Permitted Queue Service Time (g _{ps}), s	7.4		0.0		2.8		28.8	
Time to First Blockage (g _t), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{ts}), s								
Protected Right Saturation Flow (s _R), veh/h/ln				1579		1486		
Protected Right Effective Green Time (g _R), s				23.0		4.0		

Multimodal	EB		WB		NB		SB	
Pedestrian F_w / F_v	2.224	0.00	2.107	0.00	2.224	0.00	2.107	0.00
Pedestrian F_s / F_{delay}	0.000	0.139	0.000	0.143	0.000	0.130	0.000	0.109
Pedestrian M_{corner} / M_{cW}								
Bicycle c_b / d_b	533.33	32.27	466.67	35.27	700.00	25.35	1000.00	15.00
Bicycle F_w / F_v	-3.64	1.02	-3.64	0.84	-3.64	0.64	-3.64	1.07

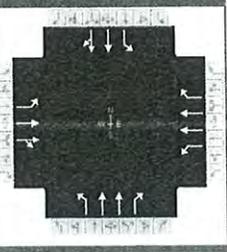
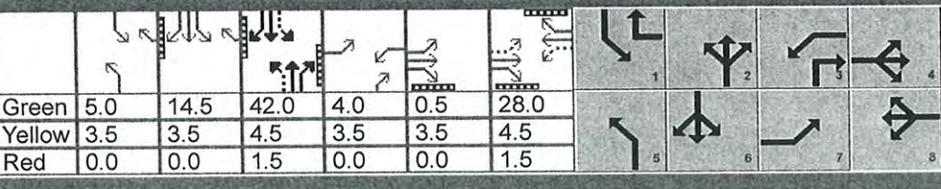
--- Messages ---

WARNING: One or more minor street movements was assigned an Arrival Type input value other than 3; this implies signal coordination on the minor street.

WARNING: Since queue spillover from turn lanes and spillback into upstream intersections is not accounted for in the HCM procedures, use of a simulation tool may be advised in situations where the Queue Storage Ratio exceeds 1.0.

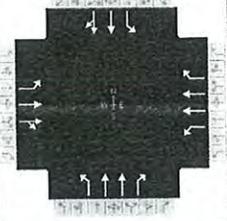
--- Comments ---

HCS 2010 Signalized Intersection Input Data

General Information					Intersection Information																			
Agency	KLOA, Inc.				Duration, h	0.25																		
Analyst	WRW	Analysis Date	Jan 6, 2016		Area Type	Other																		
Jurisdiction	IDOT	Time Period	Weekday PM		PHF	0.95																		
Urban Street	Ogden Avenue		Analysis Year	2021 Total		Analysis Period	1 > 5:15																	
Intersection	US 34/US 45		File Name	US 34 at US 45 PM 2021 Total.xus																				
Project Description	16-003; La Grange, IL																							
Demand Information					EB			WB			NB			SB										
Approach Movement	L		T		R		L		T		R		L		T		R							
Demand (v), veh/h	217		891		73		80		633		254		125		563		52		496		638		100	
Signal Information																								
Cycle, s	120.0	Reference Phase	2																					
Offset, s	0	Reference Point	Begin																					
Uncoordinated	No	Simult. Gap E/W	On																					
Force Mode	Fixed	Simult. Gap N/S	On																					
Green	5.0	14.5	42.0	4.0	0.5	28.0																		
Yellow	3.5	3.5	4.5	3.5	3.5	4.5																		
Red	0.0	0.0	1.5	0.0	0.0	1.5																		
Traffic Information					EB			WB			NB			SB										
Approach Movement	L		T		R		L		T		R		L		T		R							
Demand (v), veh/h	217		891		73		80		633		254		125		563		52		496		638		100	
Initial Queue (Q _b), veh/h	0		0		0		0		0		0		0		0		0		0		0		0	
Base Saturation Flow Rate (s ₀), veh/h	1900		1900		1900		1900		2000		1900		1900		2000		1900		1900		1900		1900	
Parking (N _m), man/h	None		None		None		None		None		None		None		None		None		None		None		None	
Heavy Vehicles (P _{HV}), %	4		4		7		7		2		4		4		4		6		6		6		6	
Ped / Bike / RTOR, /h	13		0		0		13		0		0		53		0		0		31		0		0	
Buses (N _b), buses/h	0		0		0		0		0		0		0		0		0		0		0		0	
Arrival Type (AT)	3		4		3		3		4		3		3		4		3		3		4		3	
Upstream Filtering (I)	1.00		1.00		1.00		1.00		1.00		1.00		1.00		1.00		1.00		1.00		1.00		1.00	
Lane Width (W), ft	10.0		10.0		11.0		11.0		11.0		10.0		10.0		9.0		11.0		11.0		11.0		11.0	
Turn Bay Length, ft	100		0		100		0		0		225		0		120		480		0		0		0	
Grade (Pg), %	0		0		0		0		0		0		0		0		0		0		0		0	
Speed Limit, mi/h	30		30		30		30		30		30		20		20		20		30		30		30	
Phase Information					EBL		EBT		WBL		WBT		NBL		NBT		SBL		SBT					
Maximum Green (G _{max}) or Phase Split, s	11.5		38.0		7.5		34.0		8.5		48.0		26.5		66.0									
Yellow Change Interval (Y), s	3.5		4.5		3.5		4.5		3.5		4.5		3.5		4.5									
Red Clearance Interval (R _c), s	0.0		1.5		0.0		1.5		0.0		1.5		0.0		1.5									
Minimum Green (G _{min}), s	3		15		3		15		3		15		3		15									
Start-Up Lost Time (I _t), s	2.0		2.0		2.0		2.0		2.0		2.0		2.0		2.0									
Extension of Effective Green (e), s	2.0		2.0		2.0		2.0		2.0		2.0		2.0		2.0									
Passage (PT), s	3.0		7.0		3.0		7.0		3.0		7.0		3.0		7.0									
Recall Mode	Off		Min		Off		Min		Off		Min		Off		Min									
Dual Entry	No		Yes		No		Yes		No		Yes		No		Yes									
Walk (Walk), s	0.0		10.0		0.0		10.0		0.0		10.0		0.0		10.0									
Pedestrian Clearance Time (PC), s	0.0		17.0		0.0		18.0		0.0		21.0		0.0		19.0									
Multimodal Information					EB			WB			NB			SB										
85th % Speed / Rest in Walk / Corner Radius	0		No		25		0		No		25		0		No		25							
Walkway / Crosswalk Width / Length, ft	9.0		12		0		9.0		12		0		9.0		12		0							
Street Width / Island / Curb	0		0		No		0		0		No		0		0		No							
Width Outside / Bike Lane / Shoulder, ft	12		5.0		2.0		12		5.0		2.0		12		5.0		2.0							
Pedestrian Signal / Occupied Parking	No		0.50		No		0.50		No		0.50		No		0.50									

HCS 2010 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	KLOA, Inc.			Duration, h	0.25		
Analyst	WRW	Analysis Date	Jan 6, 2016	Area Type	Other		
Jurisdiction	IDOT	Time Period	Weekday PM	PHF	0.95		
Urban Street	Ogden Avenue	Analysis Year	2021 Total	Analysis Period	1 > 5:15		
Intersection	US 34/US 45	File Name	US 34 at US 45 PM 2021 Total.xus				
Project Description	16-003; La Grange, IL						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	217	891	73	80	633	254	125	563	52	496	638	100

Signal Information				Signal Timing (s)										
Cycle, s	120.0	Reference Phase	2	Green	5.0	14.5	42.0	4.0	0.5	28.0	1	2	3	4
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	5	6	7	8
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5				
Force Mode	Fixed	Simult. Gap N/S	On											

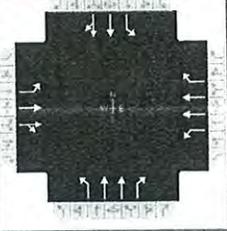
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	4.0	1.1	3.0	1.1	3.0	1.1	4.0
Phase Duration, s	11.5	38.0	7.5	34.0	8.5	48.0	26.5	66.0
Change Period, (Y+R _c), s	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Max Allow Headway (MAH), s	4.1	11.6	4.1	11.6	4.2	0.0	4.1	0.0
Queue Clearance Time (g _s), s	10.0	34.0	6.0	22.6	7.0		25.0	
Green Extension Time (g _e), s	0.0	0.0	0.0	5.3	0.0	0.0	0.0	0.0
Phase Call Probability	1.00	1.00	0.94	1.00	0.99		1.00	
Max Out Probability	1.00	1.00	1.00	1.00	1.00		1.00	

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement	7	4	14	3	8	18	5	2	12	1	6	16
Assigned Movement												
Adjusted Flow Rate (v), veh/h	228	515	500	84	666	267	132	593	55	522	399	378
Adjusted Saturation Flow Rate (s), veh/h/ln	1740	1827	1773	1691	1779	1552	1740	1831	1419	1707	1792	1697
Queue Service Time (g _s), s	8.0	32.0	32.0	4.0	20.6	14.4	5.0	13.2	3.0	23.0	12.6	14.0
Cycle Queue Clearance Time (g _c), s	8.0	32.0	32.0	4.0	20.6	14.4	5.0	13.2	3.0	23.0	12.6	14.0
Green Ratio (g/C)	0.32	0.27	0.27	0.27	0.23	0.43	0.39	0.35	0.38	0.56	0.50	0.50
Capacity (c), veh/h	222	487	473	116	830	665	370	1282	546	577	896	848
Volume-to-Capacity Ratio (X)	1.028	1.057	1.057	0.724	0.802	0.402	0.356	0.462	0.100	0.905	0.445	0.446
Available Capacity (c _a), veh/h	222	487	473	116	830	665	370	1282	546	577	896	848
Back of Queue (Q), veh/ln (95 th percentile)	11.6	29.5	29.0	2.4	14.4	9.5	4.7	9.6	2.0	17.3	8.2	8.9
Queue Storage Ratio (RQ) (95 th percentile)	2.98	0.00	0.00	0.63	0.00	0.00	0.54	0.00	0.42	0.95	0.00	0.00
Uniform Delay (d ₁), s/veh	41.5	38.7	39.5	39.9	38.8	24.0	24.1	24.3	23.7	20.0	12.1	14.1
Incremental Delay (d ₂), s/veh	67.8	56.7	57.3	19.8	8.1	1.8	0.6	1.2	0.4	17.9	1.6	1.7
Initial Queue Delay (d ₃), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	109.3	95.3	96.8	59.7	46.9	25.8	24.7	25.5	24.1	37.9	13.7	15.8
Level of Service (LOS)	F	F	F	E	D	C	C	C	C	D	B	B
Approach Delay, s/veh / LOS	98.5		F	42.4		D	25.3		C	24.0		C
Intersection Delay, s/veh / LOS	49.9						D					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	3.0	C	2.8	C	3.0	C	2.8	C
Bicycle LOS Score / LOS	1.5	A	1.3	A	1.1	A	1.6	A

HCS 2010 Signalized Intersection Intermediate Values

General Information					Intersection Information	
Agency	KLOA, Inc.				Duration, h	0.25
Analyst	WRW	Analysis Date	Jan 6, 2016		Area Type	Other
Jurisdiction	IDOT	Time Period	Weekday PM		PHF	0.95
Urban Street	Ogden Avenue		Analysis Year	2021 Total	Analysis Period	1 > 5:15
Intersection	US 34/US 45		File Name	US 34 at US 45 PM 2021 Total.xus		
Project Description	16-003; La Grange, IL					



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	217	891	73	80	633	254	125	563	52	496	638	100

Signal Information				Timing (s)						Signal Phases				
Cycle, s	120.0	Reference Phase	2	Green	5.0	14.5	42.0	4.0	0.5	28.0	1	2	3	4
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	5	6	7	8
Uncoordinated	No	Simult. Gap E/W	On	Red	0.0	0.0	1.5	0.0	0.0	1.5				
Force Mode	Fixed	Simult. Gap N/S	On											

Saturation Flow / Delay	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	0.960	1.000	1.000	1.000
Heavy Vehicle Adjustment Factor (f_{HV})	0.962	0.962	1.000	0.935	0.935	0.980	0.962	0.962	0.962	0.943	0.943	1.000
Approach Grade Adjustment Factor (f_g)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	1.000	1.000	1.000	0.952	1.000	1.000	0.952	1.000	1.000	1.000	1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.971			0.000			0.000			0.947	
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	0.997			1.000			0.991			0.989		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			0.985			0.983			0.955			0.981
Movement Saturation Flow Rate (s), veh/h	1740	3327		1691	3559		1740	3662		1707	3017	
Proportion of Vehicles Arriving on Green (P)	0.07	0.36	0.27	0.03	0.31	0.23	0.04	0.47	0.35	0.19	0.67	0.50
Incremental Delay Factor (k)	0.50	0.50	0.50	0.28	0.50	0.50	0.11	0.50	0.50	0.43	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	3.5	6.0	3.5	6.0
Green Ratio (g/C)	0.32	0.27	0.27	0.23	0.39	0.35	0.56	0.50
Permitted Saturation Flow Rate (s_p), veh/h/ln	752	0	527	0	678	0	790	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	30.0	0.0	28.0	0.0	42.0	0.0	44.0	0.0
Permitted Service Time (g_u), s	7.4	0.0	0.0	0.0	42.0	0.0	28.8	0.0
Permitted Queue Service Time (g_{ps}), s	7.4		0.0		2.9		28.8	
Time to First Blockage (g_b), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{ts}), s								
Protected Right Saturation Flow (s_R), veh/h/ln				1579		1486		
Protected Right Effective Green Time (g_R), s				23.0		4.0		

Multimodal	EB			WB			NB			SB		
Pedestrian F_w / F_v	2.224	0.00	2.107	0.00	2.224	0.00	2.107	0.00	2.107	0.00	2.107	0.00
Pedestrian F_s / F_{delay}	0.000	0.139	0.000	0.143	0.000	0.130	0.000	0.130	0.000	0.109	0.000	0.109
Pedestrian M_{corner} / M_{cw}												
Bicycle c_b / d_b	533.33	32.27	466.67	35.27	700.00	25.35	1000.00	15.00	1000.00	15.00	1000.00	15.00
Bicycle F_w / F_v	-3.64	1.03	-3.64	0.84	-3.64	0.64	-3.64	1.07	-3.64	0.64	-3.64	1.07

--- Messages ---

WARNING: One or more minor street movements was assigned an Arrival Type input value other than 3; this implies signal coordination on the minor street.

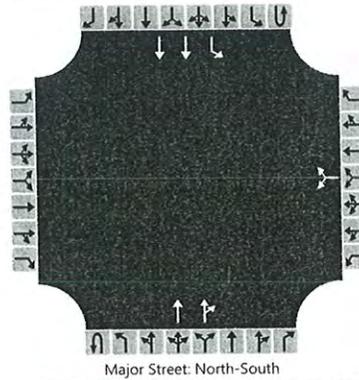
WARNING: Since queue spillover from turn lanes and spillback into upstream intersections is not accounted for in the HCM procedures, use of a simulation tool may be advised in situations where the Queue Storage Ratio exceeds 1.0.

--- Comments ---

HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	WRW	Intersection	La Grange/Shawmut
Agency/Co.	KLOA, Inc	Jurisdiction	IDOT
Date Performed	1/6/2016	East/West Street	Shawmut Ave
Analysis Year	2021	North/South Street	US 12/US20/US45 (La Grange Rd)
Time Analyzed	Weekday AM 2021 Base	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	16-003; La Grange, IL		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	0		0	0	0	0	0	2	0	0	1	2	0
Configuration							LR				T	TR		L	T	
Volume (veh/h)						2		16			1196	2		12	957	
Percent Heavy Vehicles						2		2						2		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

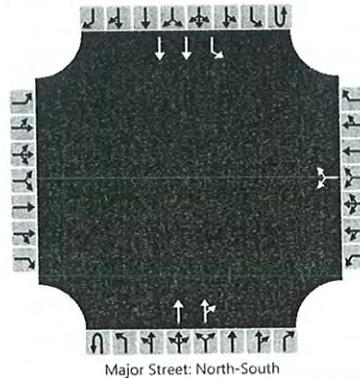
Delay, Queue Length, and Level of Service

Flow Rate (veh/h)								19								13
Capacity								303								547
v/c Ratio								0.06								0.02
95% Queue Length								0.2								0.1
Control Delay (s/veh)								17.7								11.7
Level of Service (LOS)								C								B
Approach Delay (s/veh)					17.7								0.1			
Approach LOS					C								A			

HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	WRW	Intersection	La Grange/Shawmut
Agency/Co.	KLOA, Inc	Jurisdiction	IDOT
Date Performed	1/6/2016	East/West Street	Shawmut Ave
Analysis Year	2021	North/South Street	US 12/US20/US45 (La Grange Rd)
Time Analyzed	Weekday AM 2021 Total	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	16-003; La Grange, IL		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	0		0	0	0		0	2	0		1	2	0
Configuration							LR				T	TR		L	T	
Volume (veh/h)						4		20			1196	5		19	957	
Percent Heavy Vehicles						2		2						2		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

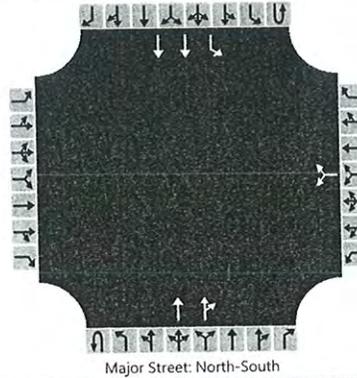
Delay, Queue Length, and Level of Service

Flow Rate (veh/h)							25								20		
Capacity							248								546		
v/c Ratio							0.10								0.04		
95% Queue Length							0.3								0.1		
Control Delay (s/veh)							21.2								11.8		
Level of Service (LOS)							C								B		
Approach Delay (s/veh)					21.2								0.2				
Approach LOS					C								A				

HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	WRW	Intersection	La Grange/Shawmut
Agency/Co.	KLOA, Inc	Jurisdiction	IDOT
Date Performed	1/6/2016	East/West Street	Shawmut Ave
Analysis Year	2021	North/South Street	US 12/US20/US45 (La Grange Rd)
Time Analyzed	Weekday PM 2021 Base	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	16-003; La Grange, IL		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Movement																	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	0	0		0	0	0		0	2	0		0	1	2	0
Configuration							LR				T	TR		L	T		
Volume (veh/h)						2		16			1009	1		32	1227		
Percent Heavy Vehicles						2		2						2			
Proportion Time Blocked																	
Right Turn Channelized	No				No				No				No				
Median Type	Undivided																
Median Storage																	

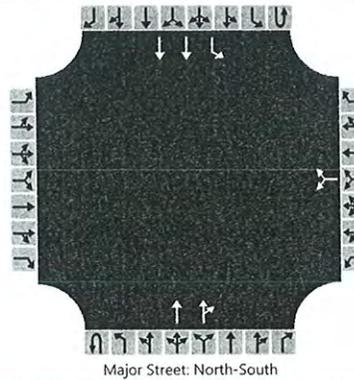
Delay, Queue Length, and Level of Service

Flow Rate (veh/h)								19								34
Capacity								323								651
v/c Ratio								0.06								0.05
95% Queue Length								0.2								0.2
Control Delay (s/veh)								16.8								10.8
Level of Service (LOS)								C								B
Approach Delay (s/veh)					16.8								0.3			
Approach LOS					C								A			

HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	WRW	Intersection	La Grange/Shawmut
Agency/Co.	KLOA, Inc	Jurisdiction	IDOT
Date Performed	1/6/2016	East/West Street	Shawmut Ave
Analysis Year	2021	North/South Street	US 12/US20/US45 (La Grange Rd)
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Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	16-003; La Grange, IL		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	0		0	0	0	0	0	2	0	0	1	2	0
Configuration							LR				T	TR		L	T	
Volume (veh/h)						6		27			1009	4		40	1227	
Percent Heavy Vehicles						2		2						2		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

Delay, Queue Length, and Level of Service

Flow Rate (veh/h)							34								42		
Capacity							246								650		
v/c Ratio							0.14								0.06		
95% Queue Length							0.5								0.2		
Control Delay (s/veh)							22.0								10.9		
Level of Service (LOS)							C								B		
Approach Delay (s/veh)					22.0								0.3				
Approach LOS					C								A				

**MARKET ANALYSIS FOR AN
ASSISTED LIVING AND
MEMORY CARE COMMUNITY
IN LAGRANGE, ILLINOIS**

PHASE I REPORT

Prepared For:

PATHWAY SENIOR LIVING

January, 2016

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TO: Patrick Dimaano

DATE: January 4, 2016

FROM: Lynne Moore

SUBJECT: **Phase I Market Feasibility Analysis
For A Site in LaGrange, Illinois**

Contained herein are the results of a Phase I market analysis evaluating the size and depth of the market and potential demand for the development of a new assisted living and memory care community being considered for a site in LaGrange, Illinois. The specific site location for this community is 31 E. Ogden Avenue in LaGrange 60525. MDS has considered the development of a new community consisting of 84 studio, one- and two-bedroom assisted living units and 32 memory care studio units. This Phase I analysis is a quantitative analysis which provides sufficient detail for due diligence review and decision-making purposes.

The specific work scope implemented for this engagement basically included the following tasks:

1. Review information and material provided by the Development Team.
2. Define a preliminary Primary Market Area for the subject site location.
3. Acquire demographics for age 75+ households and age 55 to 64 adult children households from Claritas in the Primary Market Area.
 - For the PMA, in aggregate
 - By zip code in the PMA
4. Identify and conduct quick-reaction survey of existing (and planned/announced) assisted living and Alzheimer's/memory care communities to obtain the following preliminary information:
 - Age of community and contact information
 - Number of units/beds
 - Current occupancy
 - Price range

MDS accessed various city and state resources and our internal database in order to identify any new or announced assisted living communities being planned for the PMA.
5. Implement preliminary capture rate/demand analysis to quantify potential future demand for new assisted living units and memory care units being considered for this market area.
 - By living arrangement (assisted living and memory care)
 - Giving consideration the levels of incidence for the need for activities of daily living (ADLS) and Alzheimer's/dementia

- By levels of affordability/minimum cash flow income criteria
 - Translate qualifying income criteria into potential monthly service fee pricing for each living arrangement.
6. Express overall preliminary opinion of project feasibility regarding the depth of the senior market for the subject assisted living and memory care units planned for this market area.

The end results of this Phase I market analysis have been summarized in this Executive Summary report supported by generally self-explanatory technical data exhibits.

Preliminary Primary Market Area (PMA) Definition

The Primary Market Area that has been preliminarily defined and evaluated for the potential new assisted living and memory care development is a mosaic of contiguous zip code areas/communities that fall within an approximate 5- to 10-mile radius of the subject site location in LaGrange. Exhibit 1 presents a list of the zip codes/communities that comprise this PMA. Figure 1 presents a zip code map depicting the approximate boundaries of this PMA.

For this analysis, MDS has assumed that 65% to 75% of new assisted living and memory care units will be absorbed (or occupied) by senior households residing in this PMA. In the capture rate/demand models, a factor of 70% was conservatively utilized for the PMA absorption assumption.

The remaining 25% to 35% of the unit absorption is expected to come from Secondary and Tertiary Market Areas - including the remainder of the greater Chicago MSA, the state of Illinois and in-migration from outside the state. This in-migration will be largely driven by the actions of the adult children/decision influencers attempting to bring their aging parents closer to them in the later stages of their life.

Professional Market Feasibility Opinion

Based upon the preliminary quantitative results of this Phase I market analysis and MDS' significant national experience in evaluating successful Senior housing communities, it is our opinion that there appears to be sufficient size and depth of the age and income qualified market to support the prudent introduction of new assisted living and memory care units into the LaGrange area - from a quantitative perspective. This opinion considers both existing and planned/announced assisted living competition as well as unit turnover - the re-filling of existing occupied units due to natural resident attrition that will occur at mature competitive communities in the market area.

Following is a discussion of the capture rate/demand analysis for the assisted living and memory care units and the conservative factors and assumptions utilized herein.

Senior Housing Capture Rates - Trends and Benchmarks

Project “capture rate” is defined as the percentage of the age and income qualified prospects an individual senior housing community will have to attract or capture in order to achieve stabilized occupancy. The required capture rate for a Senior housing community is calculated by dividing the number of units to be absorbed from within the PMA by the number of net potential age-, income- and health-qualified prospects residing in that market area.

Independent Living Capture Rates - While there have been various industry standards for maximum acceptable capture rates for an individual project in a specific market area, **an industry figure of approximately 5% (based on limited age and income screening only) evolved over time and was historically considered an acceptable market/development risk for market rate independent living/congregate units.** It should be noted that this figure was initially based on age 65+ households (the age criteria is now considered to be age 75+) with very little or no income screening or competitive analysis techniques.

In addition to more detailed age and income demographic screening and pragmatic competitive analysis, the MDS capture rate model for independent living now factors out seniors who are estimated to need assistance with activities of daily living (ADLs). These seniors are excluded from the potential pool of independent living prospects as it is assumed that they are no longer health-qualified for the independent living lifestyle. **Based on this expanded and detailed screening criteria, MDS now considers up to 10% as an acceptable acuity-adjusted capture rate for independent living.**

Assisted Living Capture Rates - Assisted living capture rates have traditionally been calculated in a similar manner to independent living - based on limited age and income qualifying criteria and little or no competitive analysis. It has been MDS’ experience, however, that assisted living involves a more highly need-driven situation. The typical average age profile for residents in assisted living is early 80s and they have a need for assistance with the activities of daily living (ADLs).

Again, in addition to more detailed screening for age and income and pragmatic competitive analysis, the demand model for assisted living also factors in levels of incidence for the need for assistance with the activities of daily living (ADLs). While there are seniors moving into assisted living communities who do not initially require high levels of ADL services, it is MDS’ opinion that seniors needing these services are the most likely target market for assisted living. **It is MDS’ opinion that an individual assisted living community should not count on capturing more than 20% of this specific age and income qualified and need-driven target population in a specific market area in order to achieve 92% occupancy. The final assessment of acceptable assisted living capture rates will, obviously, be contingent upon the subject site location, the specific product being developed and market conditions at the time of the analysis.**

Summary of Age 75+ Capture Rates for New Assisted Living Units in the LaGrange PMA

MDS implemented several capture rate/demand models for the new assisted living units being considered for a proposed new development. MDS has conducted an analysis for **84 new assisted living units**. Later in this analysis, MDS has also implemented a demand analysis for an additional **32 beds that would be dedicated to Alzheimer’s/memory care**. It is MDS’ opinion that this demand analysis supports these unit counts at the affordability levels evaluated.

Each of the assisted living models has considered different qualifying income criteria in order to test the elasticity of affordability in this market area. Exhibits 2 through 4 present the demand models summarizing the resulting age 75+ capture rates for 84 new assisted living units along with the base monthly service fees supported by each of the assumed qualifying income criteria. The capture rates are summarized as follows:

Minimum Qualifying Cash Flow Income Screen	84 Assisted Living Units			
	2018	2021	Refer to Exhibit	Base Monthly Service Fee Supported
@ \$70,000+	8.2%	6.5%	2	\$4,200
@ \$75,000+	11.0%	8.2%	3	\$4,500
@ \$80,000+	16.1%	10.8%	4	\$4,800

These capture rates assume that 70% of the unit absorption will be by qualified senior prospects residing within the defined PMA. They also assume that any proposed new development will be brought to 92% occupancy. It should be noted that the various qualifying income criteria assume that 80% of the senior’s disposable cash flow income can be allocated for the assisted living pricing. They also assume an average 10% income tax factor.

All of the capture rate models factored in ADL incidence level factors of 33.1% in 2018 and 32.6% in in 2021 for the LaGrange PMA. This represents the percent of the age 75+ households estimated to require assistance with the activities of daily living in each of the time frames evaluated (refer to Exhibit 5 for the calculation for this PMA). While seniors will move into assisted living communities before they need significant levels of ADL assistance, this insures that we have conservatively included only those senior households that are estimated to require assistance with ADLs in the assisted living demand analysis. In addition, this approach ensures that there is no overlap or double counting of households in the evaluation of the demand for the independent living versus assisted living lifestyles.

The capture rates for the age 75+ households as reflected in Exhibits 2 through 4 are **based on both qualifying annual cash flow income and the estimated impact of the investment of home equity (discussed in more detail later herein) in the defined PMA. It is the opinion of MDS that the capture rates for the unit counts evaluated are conservative, realistic and within acceptable and recognized industry standards.** As discussed earlier, the threshold over

which the capture rate for any one community should not exceed is 20% for assisted living - based on the current screening criteria.

Exhibit 6 presents a more detailed explanation of the supporting rationale and key assumptions involved in the capture rate analysis for market rate assisted living units. These capture rate/demand models have been projected to the 2018 time frame in order to attempt to be consistent with the proposed development time frame and introduction of potential new products at the subject site location. We have also considered the potential out to the 2021 time frame in order to give consideration to project changes in the senior population in the future.

Age 75+ Capture Rates for Memory Care Beds in an Assisted Living Setting

MDS has also evaluated the potential for the development of assisted living units that would be designed and dedicated to the care of residents with Alzheimer's or other memory care issues. MDS has evaluated the development of **32 new Alzheimer's/memory care beds in an assisted living/residential care setting**. These units would offer similar services and amenities as would be provided for the assisted living residents; however, the personal care services would be more frequent and intensive and the physical space would be specially designed to be secure and to effectively care for the special needs and requirements of these residents.

MDS has conducted a significant amount of internal research and development and has developed a capture rate/demand model which can be used for projecting the need for Alzheimer's/memory care beds in a market area. This demand model is conservative, realistic and gives consideration to all of the relevant key factors and assumptions with regard to this very specialized type of living arrangement.

Exhibit 7 shows the calculation for computing the weighted average level of incidence for the age 75+ population in the PMA in 2018 and 2021. MDS has conservatively assumed that all of the potential residents will be age 75+ and has given the appropriate (heavier) weighting to the age 85+ cohort using the levels of incidence.

Memory Care Capture Rate Summary - Exhibit 8 presents the detailed capture rate/demand model that calculates the percent of age 75+ income qualified households (estimated to be afflicted with Alzheimer's) who will be required to successfully absorb the proposed memory care units and bring them to 92% occupancy. This model considers a minimum qualifying cash flow income screen of \$110,000+ (supporting a monthly service fee of \$7,100) and also assumes 70% of the unit absorption by qualified prospects residing in the PMA.

There are no firm industry standards for maximum acceptable capture rates for memory care assisted living beds in a specific market area. However, in our evaluation of these project capture rates, MDS has made comparisons to other similar, but more traditional type, living arrangements - primarily assisted living/personal care. Based on our national experience, we are observing 20% as an assisted living ceiling capture rate benchmark based on age, income and need-driven qualifying criteria.

It is the opinion of MDS that the Alzheimer's/memory care assisted living capture rates should be reasonably consistent with traditional assisted living capture rates; however, they could be higher - depending on market conditions. The needs of this particular target market are highly specialized and, as a result, they do not have as many options available to them as seniors who are not afflicted with Alzheimer's. Therefore, we could expect a higher percent of capture of this particular target market. MDS did, however, utilize the assisted living capture rate benchmark of 20% in the evaluation of these memory care units.

The resulting age 75+ capture rates for 32 Alzheimer's/memory care beds in an assisted living setting are 6.6% in 2018 and 5.2% in 2021 (refer to Exhibit 8). It is the opinion of MDS that these capture rates are within the range of capture rates that we have observed in other market areas - and they are acceptable and conservative capture rates for this living arrangement and lifestyle. These capture rates are well below the ceiling capture rate benchmark of 20% which is an indication of potential demand for additional memory care units in this market area.

Impact of Home Equity

Exhibits 9a through 10 outline a home equity analysis in which the minimum qualifying income criteria could be reduced (for those Seniors selling their homes) due to annual cash flow that would result from the sale of a home in the Primary Market Area and the prudent reinvestment of the net, after-tax sales proceeds. This analysis estimates the number of additional households (whose actual incomes are below 70,000) who would be qualified at this level, assuming they could sell their home and conservatively invest the net equity proceeds at 4%. This would allow these seniors to supplement their income with the interest earnings, while leaving the principal from the sale of their home intact and in their portfolio of assets for their estate.

It should be noted that MDS recognizes that senior investments may not yet be realizing 4% interest rates at this time. If one was to alternatively consider this as a modest spend down strategy, this would allow for a 25 year spend down – assuming no interest earning at all on the investment of this home equity. It is MDS' opinion that it is not prudent to rely heavily on spend down in evaluating affordability for Senior housing, however, this scenario illustrates that spend down can be a prudent financial strategy under the right conditions. Spend down of savings/investments and financial assistance from family is difficult to quantify and, therefore, are primarily considered forecasting safety margin when evaluating the demand for new senior living.

Other Financial Resources – It should be noted that there are other resources for seniors that are difficult to quantify, but can aid in the reduction of actual cash flow income. For example:

- Many seniors have a long term care insurance policy that may have an assisted living benefit. Each policy may be different in terms of coverage, but many do have assisted living coverage.

- Another example is the Aid-In-Attendance benefit available to U.S. veterans. Nationally, it is estimated that approximately one-third of all seniors can qualify for additional income through the pension – under the right financial conditions. This benefit could allow additional seniors, who have not been considered in the demand model, to afford the living arrangement to be offered at the subject new community.
- There is also a growing body of empirical evidence that some senior's incomes are being supplemented by adult children or other family members. Most operators are not able to quantify this support and there is no direct correlation between the number of adult children in a market area and whether their parents live in or outside of a PMA. There is also no direct correlation between the affordability of the adult child versus their parent.

Because the potential impacts of these various other financial resources are difficult to accurately predict and quantify, they are typically considered as forecasting safety margin in evaluating the demand for new senior housing products in a market area.

Primary Market Area Demographics

Appendix A to this report summarizes the projected growth of senior households in the age 65 to 74 and age 75+ cohorts in the zip codes located within the LaGrange PMA. Appendix A also considers the growth in income qualified age 75+ households (specifically the \$70,000+ through the \$110,000+ cohorts).

There are an estimated 19,716 age 75+ households in the PMA in 2016. Over the next five years, these households are projected to increase by approximately 5.0% - there is projected to be 991 new age 75+ households over the five year time frame from 2016 through 2021. In 2021, there are projected to be 20,707 age 75+ households in this PMA. Appendix A presents similar statistics for the 65 to 74 age cohort. The 65 to 74 age cohort is approximately 14% larger than the age 75+ cohort in 2016. And the age 65 to 74 households are projected to grow by 19.5% over the five year time frame - from an estimated 22,575 households in 2016 to a projected 26,972 households in 2021.

When considering income qualified age 75+ senior households, approximately 19% of the estimated age 75+ households in the PMA (or 3,786 households) are projected to have annual cash flow incomes of \$70,000 or more in 2016. These income qualified households are projected to increase by approximately 22% from 2016 to approximately 4,605 income-qualified households in 2021. Appendix A provides similar information for the \$75,000+ through \$110,000+ cohorts – there is projected to be a 24% to 31% growth in these income cohorts over the next five years, depending on the affordability level.

Exhibits 11 through 13 summarize the demographics for age 75+ senior households and adult children households (age 55 to 64) by zip code area in the Primary Market Area for the 2016, 2018 and 2021 time frames. Approximately 12% of the total households in 2016 are age 75+ senior households and 21% are adult children/decision influencer households. This is compared to 11% and 20%, respectively, for the United States overall.

Approximately 54% of the age and income qualified senior households and 51% of the adult children/decision influencer households will reside in six of the twenty two total zip code areas that contain the PMA demographics in the 2018 time frame:

<u>Age and Income Qualified Senior Households</u>	<u>Adult Children/Decision Influencer Households</u>
<ul style="list-style-type: none">• 60525 LaGrange• 60527 Willowbrook• 60638 Chicago• 60523 Oak Brook• 60558 Western Springs• 60154 Westchester	<ul style="list-style-type: none">• 60638 Chicago• 60402 Berwyn• 60527 Willowbrook• 60525 LaGrange• 60459 Burbank• 60513 Brookfield

Three of the zip codes fall on both top six lists:

- 60525 LaGrange
- 60527 Willowbrook
- 60638 Chicago

The zip code for the subject site location is LaGrange 60525 – it falls on both top six lists and is highlighted on all of the zip code exhibits. Summary senior demographics by each of the income cohorts are included as Appendix A to this report. The detailed demographic reports acquired from Claritas - by individual zip code area as well as the aggregated PMA - are included as Appendix C.

Competitive Assisted Living Environment

MDS identified twelve assisted living communities in this PMA. Exhibit 14 summarizes the pricing and occupancy characteristics of each of these communities. These twelve communities, combined, operate 863 assisted living units which were reported to be **95% occupied** at the time of the survey. Additional information on these communities is contained in the Mystery Shop report which was submitted under separate cover in October, 2015.

Six of the existing assisted living facilities also have a separate and secured area dedicated to Alzheimer's/memory care units. In addition, we identified memory care facilities located on the fourth floor of a health care center (refer to Exhibit 15 for pricing and occupancy characteristics for each of these communities). These seven communities, combined, operate 165 special care beds which were reported to be **94% occupied** at the time of the field survey.

MDS did not identify any new assisted living communities in this PMA other than the subject new units planned by Pathway Senior Living. We did, however, identify two new memory care communities under construction. **The Caledonian** is a two story building under construction adjacent to **The Scottish Home**. Each floor will include 12 housing units with a central library, guest area and a living room and kitchen/dining area. This new addition of 24 new memory care units is scheduled to be open in Spring 2016.

Also under construction is **Harvester Place** at 150 South Frontage Road in Burr Ridge. **Harvester Place** is being designed with two areas containing 33 units each – with the capacity of accommodating up to 82 residents. The community will be operated by Anthem Memory Care and is reportedly on track to open in February, 2016. They are in the process of premarketing and reported had seven units reserved at the time of the field survey.

Exhibits 16 through 19 contain the pricing comparison exhibits that were provided in the Mystery Shop report. For comparison purposes, we have added the proposed product characteristics for the assisted living and memory care community provided by Pathway Senior Living for the LaGrange area.

If I can answer any questions or provide additional information regarding this Phase I analysis, please do not hesitate to call me. We stand ready to support you in any way that we can with your project.

Lynne Moore

Lynne Moore
President
MDS RESEARCH COMPANY, INC.

EXHIBIT 1

PRELIMINARY PRIMARY MARKET AREA

DEFINITION FOR A NEW SENIOR HOUSING

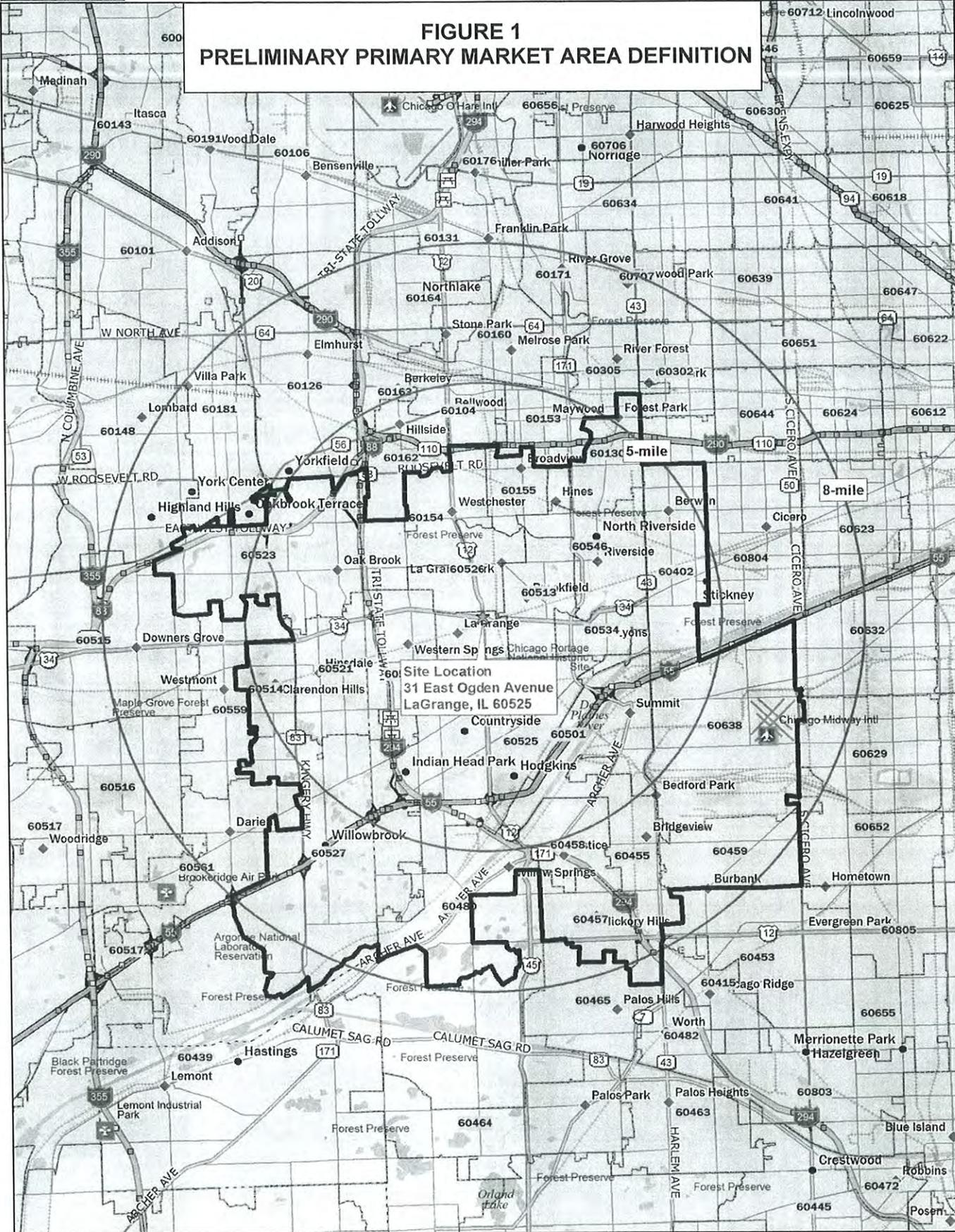
COMMUNITY IN LA GRANGE, ILLINOIS

- 60130 Forest Park
- 60141 Hines
- 60154 Westchester
- 60155 Broadview
- 60402 Berwyn
- 60455 Bridgeview
- 60457 Hickory Hills
- 60458 Justice
- 60459 Burbank
- 60480 Willow Springs
- 60501 Summit Argo
- 60513 Brookfield
- 60514 Clarendon Hills
- 60521 Hinsdale
- 60523 Oak Brook
- **60525 LaGrange***
- 60526 LaGrange Park
- 60527 Willowbrook
- 60534 Lyons
- 60546 Riverside
- 60558 Western Springs
- 60638 Chicago

* **Zip Code for subject site location**

Figure 1 presents a map depicting the approximate boundaries of this PMA. MDS has assumed that 65% to 75% of the new unit absorption will come from age and income qualified households residing in this PMA.

FIGURE 1
PRELIMINARY PRIMARY MARKET AREA DEFINITION



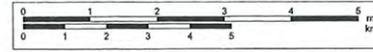
Data use subject to license.

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www.delorme.com



Scale 1 : 175,000



1" = 2.76 mi Data Zoom 10-2

EXHIBIT 2

SUMMARY OF REQUIRED AGE 75+ CAPTURE RATE

FOR NEW ASSISTED LIVING UNITS IN THE PRIMARY MARKET AREA

Required Annual Qualifying Household Income of \$70,000 +

	Total Potential Demand Projected for the Year:	
	2018	2021
<u>Pragmatic Sequential Screening Process ¹</u>		
Estimated Non-Institutionalized Age 75+ Households ²	20,107	20,707
Estimated Weighted Average Level of Incidence for ADLs for Age 75+ Cohort ³	0.331	0.326
Subtotal	6,654	6,745
Apply Minimum Qualifying (Private Pay) Annual Income Screen ⁴	0.204	0.222
Subtotal Age/Income Qualified Households Who Are Estimated to Have ADL Needs	1,355	1,500
Less Competitive State-of-the-Art Assisted Living Units: ⁵		
Existing Occupied Assisted Living Units	(645)	(645)
Vacant/Planned Assisted Living Units at 92% Occupancy	0	0
Unit Turnover @ 45% of Existing Units ⁶	(290)	(290)
Subtotal Age/Income Qualified Prospects	419	564
Additional Qualified Households Due to Home Equity Considerations with Incidence Level Applied ⁷	240	273
Net Age/Income Qualified Available Prospects	659	837

Calculation of Required Age 75+ Capture Rates:

<u>Number of Subject Assisted Living Units to be Absorbed ⁸</u>	54	54
Net Available Prospects in the PMA	659	837
	↓	↓
Required Age 75+ Capture Rate Factoring in ADL Incidence Levels	8.2%	6.5%

¹ Refer to Exhibit 6 for a more detailed explanation of the supporting rationale and key assumptions involved in the assisted living demand analysis.

² Refer to Exhibit A-1 in Appendix A for the calculation of total age 75+ households.

³ Refer to Exhibit 5 for calculation of levels of incidence for the need for ADL services in the PMA.

⁴ Refer to Exhibit A-2 for the calculation of age 75+ households who meet the minimum qualifying income criteria of \$70,000 +.

⁵ Refer to Exhibit B-1 in Appendix B for the number of competitive units factored into the capture rate/demand analysis.

⁶ 645 existing units x 45% turnover = 290 units.

⁷ Refer to Exhibits 9a and 9b for the home equity analysis/impact:

726 additional qualifying households x 0.331 incidence level = 240 additional qualified households in 2018;

837 additional qualifying households x 0.326 incidence level = 273 additional qualified households in 2021.

⁸ 84 units x 92% occupancy x 70% absorption from the PMA = 54 units.

EXHIBIT 3

SUMMARY OF REQUIRED AGE 75+ CAPTURE RATE

FOR NEW ASSISTED LIVING UNITS IN THE PRIMARY MARKET AREA

Required Annual Qualifying Household Income of \$75,000 +

	Total Potential Demand Projected for the Year:	
	2018	2021
<u>Pragmatic Sequential Screening Process ¹</u>		
Estimated Non-Institutionalized Age 75+ Households ²	20,107	20,707
Estimated Weighted Average Level of Incidence for ADLs for Age 75+ Cohort ³	0.331	0.326
Subtotal	6,654	6,745
Apply Minimum Qualifying (Private Pay) Annual Income Screen ⁴	0.178	0.197
Subtotal Age/Income Qualified Households Who Are Estimated to Have ADL Needs	1,186	1,326
Less Competitive State-of-the-Art Assisted Living Units: ⁵		
Existing Occupied Assisted Living Units	(645)	(645)
Vacant/Planned Assisted Living Units at 92% Occupancy	0	0
Unit Turnover @ 45% of Existing Units ⁶	(290)	(290)
Subtotal Age/Income Qualified Prospects	250	391
Additional Qualified Households Due to Home Equity Considerations with Incidence Level Applied ⁷	240	273
Net Age/Income Qualified Available Prospects	490	663

Calculation of Required Age 75+ Capture Rates:

Number of Subject Assisted Living Units to be Absorbed ⁸	54	54
Net Available Prospects in the PMA	490	663
	↓	↓
Required Age 75+ Capture Rate Factoring in ADL Incidence Levels	11.0%	8.2%

¹ Refer to Exhibit 6 for a more detailed explanation of the supporting rationale and key assumptions involved in the assisted living demand analysis.

² Refer to Exhibit A-1 in Appendix A for the calculation of total age 75+ households.

³ Refer to Exhibit 5 for calculation of levels of incidence for the need for ADL services in the PMA.

⁴ Refer to Exhibit A-3 for the calculation of age 75+ households who meet the minimum qualifying income criteria of \$75,000 +.

⁵ Refer to Exhibit B-1 in Appendix B for the number of competitive units factored into the capture rate/demand analysis.

⁶ 645 existing units x 45% turnover = 290 units.

⁷ Refer to Exhibits 9a and 9b for the home equity analysis/impact:

726	additional qualifying households x	0.331	incidence level	240	additional qualified households in 2018;
837	additional qualifying households x	0.326	incidence level	273	additional qualified households in 2021.

⁸ 84 units x 92% occupancy x 70% absorption from the PMA = 54 units.

EXHIBIT 4

SUMMARY OF REQUIRED AGE 75+ CAPTURE RATE

FOR NEW ASSISTED LIVING UNITS IN THE PRIMARY MARKET AREA

Required Annual Qualifying Household Income of \$80,000 +

	Total Potential Demand Projected for the Year:	
	2018	2021
<u>Pragmatic Sequential Screening Process ¹</u>		
Estimated Non-Institutionalized Age 75+ Households ²	20,107	20,707
Estimated Weighted Average Level of Incidence for ADLs for Age 75+ Cohort ³	0.331	0.326
Subtotal	6,654	6,745
Apply Minimum Qualifying (Private Pay) Annual Income Screen ⁴	0.164	0.182
Subtotal Age/Income Qualified Households Who Are Estimated to Have ADL Needs	1,094	1,229
Less Competitive State-of-the-Art Assisted Living Units: ⁵		
Existing Occupied Assisted Living Units	(645)	(645)
Vacant/Planned Assisted Living Units at 92% Occupancy	0	0
Unit Turnover @ 45% of Existing Units ⁶	(290)	(290)
Subtotal Age/Income Qualified Prospects	159	293
Additional Qualified Households Due to Home Equity Considerations with Incidence Level Applied ⁷	177	210
Net Age/Income Qualified Available Prospects	336	503

Calculation of Required Age 75+ Capture Rates:

<u>Number of Subject Assisted Living Units to be Absorbed ⁸</u>	54	54
Net Available Prospects in the PMA	336	503
	↓	↓
Required Age 75+ Capture Rate Factoring in ADL Incidence Levels	16.1%	10.8%

¹ Refer to Exhibit 6 for a more detailed explanation of the supporting rationale and key assumptions involved in the assisted living demand analysis.

² Refer to Exhibit A-1 in Appendix A for the calculation of total age 75+ households.

³ Refer to Exhibit 5 for calculation of levels of incidence for the need for ADL services in the PMA.

⁴ Refer to Exhibit A-4 for the calculation of age 75+ households who meet the minimum qualifying income criteria of \$80,000 + .

⁵ Refer to Exhibit B-1 in Appendix B for the number of competitive units factored into the capture rate/demand analysis.

⁶ 645 existing units x 45% turnover = 290 units.

⁷ Refer to Exhibits 9a and 9b for the home equity analysis/impact:

535 additional qualifying households x 0.331 incidence level 177 additional qualified households in 2018;

644 additional qualifying households x 0.326 incidence level 210 additional qualified households in 2021.

⁸ 84 units x 92% occupancy x 70% absorption from the PMA = 54 units.

EXHIBIT 5

CALCULATION OF WEIGHTED AVERAGE LEVEL OF INCIDENCE

FOR ASSISTANCE WITH ACTIVITIES OF DAILY LIVING

FOR THE PRIMARY MARKET AREA

	2016	Estimated	2016 Age 75+ Seniors
<u>Age Cohort</u>	<u>Age 75+ Population</u>	<u>Level of Incidence</u>	<u>Estimated to Require Assistance with ADLs</u>
75 to 79	10,597	20.0%	2,119
80 to 84	8,671	31.0%	2,688
85+	<u>9,908</u>	50.0%	<u>4,954</u>
Total	29,176		9,761
Weighted Average		33.5%	

	2018	Estimated	2018 Age 75+ Seniors
<u>Age Cohort</u>	<u>Age 75+ Population</u>	<u>Level of Incidence</u>	<u>Estimated to Require Assistance with ADLs</u>
75 to 79	11,089	20.0%	2,218
80 to 84	9,073	31.0%	2,813
85+	<u>9,708</u>	50.0%	<u>4,854</u>
Total	29,870		9,885
Weighted Average		33.1%	

	2021	Estimated	2021 Age 75+ Seniors
<u>Age Cohort</u>	<u>Age 75+ Population</u>	<u>Level of Incidence</u>	<u>Estimated to Require Assistance with ADLs</u>
75 to 79	11,827	20.0%	2,365
80 to 84	9,676	31.0%	3,000
85+	<u>9,409</u>	50.0%	<u>4,705</u>
Total	30,912		10,069
Weighted Average		32.6%	

This exhibit summarizes the calculation of the weighted average incidence level for the Age 75+ households in the Primary Market Area - based on factors by age cohort. This weighted average level of incidence is utilized in the capture rate models outlined in Exhibits 2 through 4.

Sources: U.S. Bureau of the Census, the Need for Personal Assistance With Everyday Activities: Recipients and Caregivers
 Claritas
 MDS Analysis

EXHIBIT 6

SUPPORTING RATIONALE AND KEY ASSUMPTIONS

INVOLVED IN QUANTIFYING THE DEMAND

FOR STATE-OF-THE-ART ASSISTED LIVING

The MDS approach utilized in determining assisted living demand involves the following pragmatic sequential screening process:

- I. **Total Age 75+ Non-Institutionalized Households** - The estimated number of age 75+ non-institutionalized households in the Primary Market Area is first determined. This figure is considered to be conservative in that it does not include age 75+ households which reside in households headed by a person who is not age 75 or older - such as adult children/relatives, etc. It also screens out those persons who reside in group quarters, nursing homes or other institutionalized settings.
- II. **Need-Driven Incidence Level Screen** - The estimated weighted average level of incidence for the need for assistance with the activities of daily living (ADLs) within the age 75+ household cohort is determined. Exhibit 5 summarizes the calculation of the weighted average incidence level utilized in this analysis for the PMA. This total gross level of age and incidence level qualified households represents a need-driven pool of prospects which are the true market for assisted living - exclusive of income qualification and consideration of existing comparable/competitive product offerings.
- III. **Minimum Annual (Private Pay) Income Qualification Screen** - These age and incidence level (need-driven) qualified Senior households are adjusted to include only those income qualified households based on annual after-tax cash flow income alone - allowing for discretionary expenditures and exclusive of economic support by children and spend-down of assets. This minimum qualifying income screen should be sufficient to support the proposed market rate assisted living monthly service fees. The income screening process essentially eliminates existing residents of traditionally lower quality, older/smaller board and care type facilities which typically require monthly fees lower than those that will be charged at the subject new community.
- IV. **Home Sale/Equity Investment Impact** - The impact of homeowner equity liquidation is factored into the demand analysis. This analysis assumes that the minimum qualifying income criteria could be reduced, for those Seniors selling their homes, due to the additional annual cash flow that would result from the sale of a home and the reinvestment of the net, after-tax sales proceeds (refer to Exhibits 9a through 10 summarize the home equity impact analysis).

Exhibit 6
Supporting Rationale and Key Assumptions
Involved in Quantifying the Demand
for State-of-the-Art Assisted Living

- V. **Current Competitive Supply Adjustment** - Senior households currently residing in existing comparable assisted living communities were then subtracted from the targeted pool of age, income and incidence level qualified households (refer to Appendix B for a list of assisted living competitors factored into this analysis).
- VI. **Adjustment for Overall Market Stabilized Occupancy** - Vacant and planned purpose-built assisted living units are assumed to be filled to 93% occupancy. It is presumed that all vacant and planned units would achieve stabilized occupancy before evaluating the future net demand (refer to Appendix B).
- VII. **Compensation for Annual Unit Turnover** - Finally, annual resident turnover of approximately 40% for assisted living is calculated and subtracted for existing occupied units. This factor accounts for units at existing competitive projects that will constantly (annually) need to be refilled or re-occupied due to resident attrition.

The bottom-line result of this detailed analysis and screening process is to identify the net pool of age, income and incidence level qualified Senior households that are currently need-driven and would qualify for assisted living.

EXHIBIT 7

CALCULATION OF WEIGHTED AVERAGE LEVEL OF INCIDENCE

FOR ALZHEIMER'S DISEASE/RELATED DEMENTIA

IN THE PRIMARY MARKET AREA

<u>Age Cohort</u>	2016 <u>Age 75+ Population</u>	Estimated Level of Incidence for Alzheimer's Disease/Related Dementia	2016 Age 75+ Seniors Estimated With Alzheimer's/Dementia
75 to 84	19,268	18.7%	3,603
85+	<u>9,908</u>	47.2%	<u>4,677</u>
Total	29,176		8,280
Weighted Average		28.4%	

<u>Age Cohort</u>	2018 <u>Age 75+ Population</u>	Estimated Level of Incidence for Alzheimer's Disease/Related Dementia	2018 Age 75+ Seniors Estimated With Alzheimer's/Dementia
75 to 84	20,162	18.7%	3,770
85+	<u>9,708</u>	47.2%	<u>4,582</u>
Total	29,870		8,353
Weighted Average		28.0%	

<u>Age Cohort</u>	2021 <u>Age 75+ Population</u>	Estimated Level of Incidence for Alzheimer's Disease/Related Dementia	2021 Age 75+ Seniors Estimated With Alzheimer's/Dementia
75 to 84	21,503	18.7%	4,021
85+	<u>9,409</u>	47.2%	<u>4,441</u>
Total	30,912		8,462
Weighted Average		27.4%	

This exhibit summarizes the calculation of the weighted average incidence level for Alzheimer's Disease or other related dementia in this PMA. This weighted average level of incidence is utilized in the Alzheimer's capture rate model outlined in Exhibit 8.

Sources: Alzheimer's Association
Claritas
MDS Analysis

EXHIBIT 8

**MARKET DEMAND / CAPTURE RATE MODEL FOR ALZHEIMER'S / RELATED
DEMENTIA UNITS IN AN ASSISTED LIVING SETTING**

32 Units

FACTORS / ASSUMPTIONS IN THE PRIMARY MARKET AREA (PMA)	\$110,000 + Income 70% PMA Absorption Impact		
	Year:	2018	2021
1. Estimated Non-Institutionalized Age 75+ Households ¹		20,107	20,707
2. Less Existing and Planned/Announced Assisted Living Units:		<u>(1,393)</u>	<u>(1,393)</u>
Subtotal		18,714	19,314
3. Estimated level of Incidence of Dementia ²		<u>0.280</u>	<u>0.274</u>
Subtotal - Dementia Level of Incidence		5,233	5,287
4. Qualifying Income Screen: \$110,000 + ³		<u>0.096</u>	<u>0.109</u>
Subtotal Income Qualified Households		500	578
5. Additional Age/Income Qualified Households Available Due to Impact of Home Sale/Equity ⁴		<u>26</u>	<u>34</u>
Subtotal Equity Adjusted Households		526	611
6. Less Occupied Alzheimer's/Dementia Units ⁵		(99)	(99)
7. Less Vacant and Planned Alzheimer's/Dementia Units ⁵ (@ 93% Occupancy)		(70)	(70)
8. Less Annual Turnover @ 45% of Occupied Units		<u>(44)</u>	<u>(44)</u>
9. Net Potential Prospects for Alzheimer's Facility		314	398
10. <u>COMPUTATION OF REQUIRED CAPTURE RATE</u>			
<u>Subject Proposed Units to be Absorbed</u> ⁶		<u>21</u>	<u>21</u>
Potential Qualified Households		314	398
PROJECT CAPTURE RATES (for 32 units)		6.6%	5.2%

Source: Moore Diversified Services, Inc.
Claritas

¹ These are non-institutionalized households - does not include persons in nursing homes or institutionalized group quarters. (Refer to Exhibit A-1 in Appendix A.)

² Information provided by The Alzheimer's Disease and Related Disorders Association, Inc. The incidence level is a weighted average of two age cohorts - age 75 to 84 and 85+.

³ Refer to Exhibit A-7 in Appendix A.

⁴ Refer to Exhibits 9a and 9b - applied level of incidence and assumed that only 50% of these residents would be coming directly from their own home - see calculation below:

$$189 \times 28.0\% \times 50.0\% = 26 \text{ for year 2018;}$$

$$245 \times 27.4\% \times 50.0\% = 34 \text{ for year 2021.}$$

⁵ Refer to Exhibit B-2 in Appendix B for a list of Alzheimer's/special care communities factored into this analysis.

⁶ 32 units x 92% occupancy x 70% absorption from PMA = 21 units to be filled by qualified prospects residing in the PMA.

EXHIBIT 9a

HOME EQUITY ANALYSIS - 2018 TIME FRAME

How the Sale of a Senior's Home in the Primary Market Area Increases the Number of Age and Income Qualified Households

I.	2018 Estimated Median Home Value ¹		\$ 246,804					
II.	Assume Net Home Equity Proceeds Upon Sale @ 90%		\$ 222,124					
III.	Assume Equity Proceeds Can Be Invested @ 4% ²	\$8,885 /Year						
	- Pre-Tax Increase in Investment Income							
IV.	Required Qualifying CASH FLOW Income Criteria (Before Home Equity Conversion)		\$70,000	\$75,000	\$80,000	\$85,000	\$90,000	\$110,000
	- Less Increase in Equity Investment Income		\$8,885	\$8,885	\$8,885	\$8,885	\$8,885	\$8,885
V.	Home Equity Cash Flow Lowers Qualifying Income Criteria to:		\$61,115	\$66,115	\$71,115	\$76,115	\$81,115	\$101,115
			<u>Age 75+ / Income Screens</u>					
			<u>\$70,000</u>	<u>\$75,000</u>	<u>\$80,000</u>	<u>\$85,000</u>	<u>\$90,000</u>	<u>\$110,000</u>
VI.	NET Age 75+ Qualified Households ³		4,094	3,584	3,307	3,030	2,753	1,921
VII.	ADDITIONAL Age Qualified Households that Become Income Qualified		876	876	646	466	466	228
VIII.	Percent of Age 75+ HOMEOWNERS in the PMA @ 82.9%							
	Net Increase in AGE/INCOME QUALIFIED Homeowners Due to Home Equity Conversion Impact ⁴		726	726	535	386	386	189
					Additional Households			

*Converting (Selling) home equity results in increased savings, portfolio value and investment income.
This increases the number of age/income qualified households*

Refer to Exhibit 10 for a more detailed explanation of this analysis.

Source: Moore Diversified Services, Inc. Analysis

¹ Based on Census Data for Seniors and an analysis of residential home sales statistics.

² Average over a three (3) to four (4) year period.

³ See Exhibit A-1 for Net Age Qualified Households

⁴ Refer to Appendix C to this report. This factor represents the percent of age 75+ households who live in owner occupied units in the PMA - based on available census data.

EXHIBIT 10

EXPLANATION OF CALCULATION/QUANTIFICATION OF POTENTIAL IMPACT OF HOME EQUITY

MDS has conducted an analysis giving consideration to the impact of home equity potential on Senior household incomes in the Primary Market Area (refer to Exhibits 9a and 9b). **This analysis assumes that the minimum cash flow income threshold could be reduced (for those Seniors selling their homes) due to the additional annual cash flow that would result from the sale of a home and the reinvestment of the net after-tax sales proceeds.** This analysis was accomplished as follows:

1. MDS assumed that the net equity (after closing costs) earned from the sale of these Seniors' homes would be equal to 90% of the sales value and that this equity could be invested at 4% (average over a three to four year period), which would generate an additional annual cash flow of \$8,885 in 2018 and \$9,478 in 2021.
2. MDS then reduced the minimum income criteria of \$70,000 by the amount of the additional cash flow that would be generated from the sale of the home and calculated the percentage of new additional age qualified households that would now qualify at the new reduced income level.
3. MDS again reduced the new age and income qualified households to reflect only that percentage that are estimated to be homeowners (versus renters) in the Primary Market Area. Based on census data, it is estimated that approximately 83% of Seniors live in owner-occupied units.

As can be seen from Exhibit 9a, approximately 726 additional age 75+ households (whose income is below \$70,000) would be qualified at this level, providing they could sell their home and invest the net equity at 4%, thereby supplementing their existing annual cash flow income.

EXHIBIT 11

ANALYSIS OF AGE QUALIFIED SENIOR

HOUSEHOLDS BY ZIP CODE IN THE PRIMARY MARKET AREA

Before Income Screen

Zip Code / Community	Total 2016 Households	Age 75+ Senior Households			Absolute Increase 2016-2021	Average Annual % Change
		2016	2018	2021		
60402 Berwyn	21,566	1,889	1,912	1,946	57	0.6%
60638 Chicago	19,941	2,781	2,764	2,738	(43)	-0.3%
60525 LaGrange*	12,429	1,796	1,844	1,919	123	1.3%
60527 Willowbrook	12,051	1,523	1,589	1,694	171	2.2%
60459 Burbank	9,449	1,150	1,163	1,182	32	0.6%
60513 Brookfield	7,505	782	792	808	26	0.7%
60130 Forest Park	7,232	560	578	607	47	1.6%
60154 Westchester	6,758	1,407	1,418	1,435	28	0.4%
60546 Riverside	6,358	972	980	991	19	0.4%
60521 Hinsdale	6,014	650	682	734	84	2.5%
60455 Bridgeview	5,878	638	667	713	75	2.2%
60526 LaGrange Park	5,629	1,106	1,112	1,122	16	0.3%
60458 Justice	5,606	346	370	410	64	3.5%
60457 Hickory Hills	5,316	593	614	647	54	1.8%
60558 Western Springs	4,411	703	711	722	19	0.5%
60523 Oak Brook	4,149	1,086	1,109	1,145	59	1.1%
60534 Lyons	4,137	460	470	486	26	1.1%
60514 Clarendon Hills	3,880	391	408	436	45	2.2%
60501 Summit Argo	3,476	309	310	312	3	0.2%
60155 Broadview	3,099	333	351	381	48	2.7%
60480 Willow Springs	2,166	226	241	265	39	3.2%
60141 Hines	92	15	15	14	(1)	-1.4%
Total	157,142	19,716	20,107	20,707	991	1.0%

* Zip Code for subject site location

Source: Claritas
MDS Analysis

EXHIBIT 12

SUMMARY OF INCOME QUALIFIED AGE 75+

HOUSEHOLDS BY ZIP CODE IN THE PRIMARY MARKET AREA

After Income Screen

Zip Code / Community	Total 2016 Age 75+ Households	\$70,000 + Qualifying Income Screen			Absolute 2016-2021	Average Annual % Change
		2016	2018	2021		
* 60638 Chicago	2,781	371	390	420	49	2.5%
60402 Berwyn	1,889	233	252	283	50	4.0%
* 60525 LaGrange**	1,796	416	452	512	96	4.2%
* 60527 Willowbrook	1,523	404	445	514	110	4.9%
* 60154 Westchester	1,407	242	260	290	48	3.7%
60459 Burbank	1,150	142	149	159	17	2.3%
60526 LaGrange Park	1,106	236	251	274	38	3.0%
* 60523 Oak Brook	1,086	356	381	421	65	3.4%
60546 Riverside	972	184	198	220	36	3.6%
60513 Brookfield	782	124	135	154	30	4.4%
* 60558 Western Springs	703	274	294	327	53	3.6%
60521 Hinsdale	650	224	251	299	75	5.9%
60455 Bridgeview	638	92	100	114	22	4.4%
60457 Hickory Hills	593	65	82	116	51	12.3%
60130 Forest Park	560	63	69	78	15	4.4%
60534 Lyons	460	63	65	69	6	1.8%
60514 Clarendon Hills	391	85	93	107	22	4.7%
60458 Justice	346	45	51	62	17	6.6%
60155 Broadview	333	54	61	74	20	6.5%
60501 Summit Argo	309	24	29	37	13	9.0%
60480 Willow Springs	226	56	62	73	17	5.4%
60141 Hines	15	3	3	3	0	0.0%
Total	19,716	3,756	4,075	4,606	850	4.2%

* *The highlighted zip codes contain approximately 54% of the age and income qualified Senior households (age 75+, \$70,000+) in the PMA in 2018.*

** *Zip Code for subject site location*

Source: Claritas
MDS Analysis

EXHIBIT 13

ANALYSIS OF AGE QUALIFIED DECISION INFLUENCER

HOUSEHOLDS BY ZIP CODE IN THE PRIMARY MARKET AREA

Before Income Screen

Age 55 to 64 Adult Children Households

Zip Code / Community	Total 2016 Households	Age 55 to 64 Adult Children Households			Absolute 2016-2021	Average Annual % Change
		2016	2018	2021		
* 60402 Berwyn	21,566	3,841	3,859	3,887	46	0.2%
* 60638 Chicago	19,941	4,012	3,975	3,920	(92)	-0.5%
* 60525 LaGrange**	12,429	2,830	2,857	2,897	67	0.5%
* 60527 Willowbrook	12,051	2,880	2,872	2,861	(19)	-0.1%
* 60459 Burbank	9,449	1,991	1,974	1,949	(42)	-0.4%
* 60513 Brookfield	7,505	1,664	1,683	1,711	47	0.6%
60130 Forest Park	7,232	1,470	1,475	1,482	12	0.2%
60154 Westchester	6,758	1,449	1,426	1,392	(57)	-0.8%
60546 Riverside	6,358	1,422	1,437	1,459	37	0.5%
60521 Hinsdale	6,014	1,677	1,721	1,788	111	1.3%
60455 Bridgeview	5,878	1,217	1,221	1,227	10	0.2%
60526 LaGrange Park	5,629	1,145	1,171	1,212	67	1.1%
60458 Justice	5,606	1,101	1,086	1,063	(38)	-0.7%
60457 Hickory Hills	5,316	1,112	1,096	1,072	(40)	-0.7%
60558 Western Springs	4,411	1,090	1,121	1,169	79	1.4%
60523 Oak Brook	4,149	941	894	827	(114)	-2.5%
60534 Lyons	4,137	781	789	801	20	0.5%
60514 Clarendon Hills	3,880	882	918	974	92	2.0%
60501 Summit Argo	3,476	625	627	629	4	0.1%
60155 Broadview	3,099	744	726	700	(44)	-1.2%
60480 Willow Springs	2,166	557	559	563	6	0.2%
60141 Hines	92	19	19	18	(1)	-1.1%
Total	157,142	33,450	33,510	33,601	151	0.1%

* *The highlighted zip codes contain approximately 51% of the adult children/decision influencer households (age 55 to 64) in the PMA in 2018.*

** *Zip Code for subject site location*

Source: Claritas
MDS Analysis

APPENDIX A

SUMMARY SENIOR DEMOGRAPHICS FOR THE PRIMARY MARKET AREA

MDS RESEARCH COMPANY, INC.

**P O Box 100578 • Fort Worth, TX 76185 • 817-731-4266 • 817-738-2031 Fax
www.m-d-s.com • mdsresearch@m-d-s.com**

EXHIBIT A-1

AGE 65+ AND AGE 75+ HOUSEHOLD GROWTH IN THE PRIMARY MARKET AREA

	<u>Year</u>	<u>Number of Households</u>	
		<u>65-74</u>	<u>75 +</u>
	2000	18,768	21,741
	2016	22,575	19,716
	2018	24,241	20,107
	2021	26,972	20,707
Change in Households	2016 - 2021		
- Absolute		4,397	991
- Percentage		19.48%	5.03%
Average Annual % Change	2016 - 2021	3.62%	0.99%

See Figure 1 of this report for details on specific market area definitions.

Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

Sources: Claritas
Moore Diversified Services, Inc.

EXHIBIT A-2

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level: \$70,000

	Year	Number of Households	
		65-74	75 +
	2000 ¹	4,446	2,904
	2016 ¹	8,719	3,786
	2018	9,738	4,094
	2021 ¹	11,495	4,605
Change in Income			
Qualified Households	2016 - 2021		
- Absolute		2,776	819
- Percentage		31.84%	21.64%
Average Annual % Change		5.68%	4.00%
Qualified Households -	2016	8,719	3,786
Total Households -	2016 ²	22,575	19,716
% Income Qualified @ \$70,000 + in 2016		38.6%	19.2%
Qualified Households -	2018	9,738	4,094
Total Households -	2018 ²	24,241	20,107
% Income Qualified @ \$70,000 + in 2018		40.2%	20.4%
Qualified Households -	2021	11,495	4,605
Total Households -	2021 ²	26,972	20,707
% Income Qualified @ \$70,000 + in 2021		42.6%	22.2%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

EXHIBIT A-3

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level:	\$75,000
------------------------------------	-----------------

	Year	Number of Households	
		65-74	75 +
	2000 ¹	3,827	2,405
	2016 ¹	7,869	3,292
	2018	8,839	3,584
	2021 ¹	10,523	4,072
Change in Income			
Qualified Households	2016 - 2021		
- Absolute		2,654	780
- Percentage		33.73%	23.69%
Average Annual % Change		5.98%	4.34%
Qualified Households -	2016	7,869	3,292
Total Households -	2016 ²	22,575	19,716
% Income Qualified @ \$75,000 + in 2016		34.9%	16.7%
Qualified Households -	2018	8,839	3,584
Total Households -	2018 ²	24,241	20,107
% Income Qualified @ \$75,000 + in 2018		36.5%	17.8%
Qualified Households -	2021	10,523	4,072
Total Households -	2021 ²	26,972	20,707
% Income Qualified @ \$75,000 + in 2021		39.0%	19.7%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

EXHIBIT A-4

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level:	\$80,000
------------------------------------	-----------------

	Year	Number of Households	
		65-74	75 +
	2000 ¹	3,490	2,191
	2016 ¹	7,314	3,029
	2018	8,234	3,307
	2021 ¹	9,835	3,772
Change in Income Qualified Households	2016 - 2021		
- Absolute		2,521	743
- Percentage		34.47%	24.53%
Average Annual % Change		6.10%	4.48%
Qualified Households -	2016	7,314	3,029
Total Households -	2016 ²	22,575	19,716
% Income Qualified @ \$80,000 + in 2016		32.4%	15.4%
Qualified Households -	2018	8,234	3,307
Total Households -	2018 ²	24,241	20,107
% Income Qualified @ \$80,000 + in 2018		34.0%	16.4%
Qualified Households -	2021	9,835	3,772
Total Households -	2021 ²	26,972	20,707
% Income Qualified @ \$80,000 + in 2021		36.5%	18.2%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

EXHIBIT A-5

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level:	\$85,000
------------------------------------	-----------------

	Year	Number of Households	
		65-74	75 +
	2000 ¹	3,153	1,977
	2016 ¹	6,760	2,767
	2018	7,629	3,030
	2021 ¹	9,148	3,473
Change in Income Qualified Households 2016 - 2021			
- Absolute		2,388	706
- Percentage		35.33%	25.52%
Average Annual % Change		6.24%	4.65%
Qualified Households -	2016	<u>6,760</u>	<u>2,767</u>
Total Households -	2016 ²	<u><u>22,575</u></u>	<u><u>19,716</u></u>
% Income Qualified @ \$85,000 + in 2016		29.9%	14.0%
Qualified Households -	2018	<u>7,629</u>	<u>3,030</u>
Total Households -	2018 ²	<u><u>24,241</u></u>	<u><u>20,107</u></u>
% Income Qualified @ \$85,000 + in 2018		31.5%	15.1%
Qualified Households -	2021	<u>9,148</u>	<u>3,473</u>
Total Households -	2021 ²	<u><u>26,972</u></u>	<u><u>20,707</u></u>
% Income Qualified @ \$85,000 + in 2021		33.9%	16.8%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

EXHIBIT A-6

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level:	\$90,000
------------------------------------	-----------------

	Year	Number of Households	
		65-74	75 +
	2000 ¹	2,816	1,764
	2016 ¹	6,205	2,504
	2018	7,024	2,753
	2021 ¹	8,460	3,173
Change in Income			
Qualified Households	2016 - 2021		
- Absolute		2,255	669
- Percentage		36.34%	26.72%
Average Annual % Change		6.40%	4.85%
Qualified Households -	2016	6,205	2,504
Total Households -	2016 ²	22,575	19,716
% Income Qualified @ \$90,000 + in		27.5%	12.7%
Qualified Households -	2018	7,024	2,753
Total Households -	2018 ²	24,241	20,107
% Income Qualified @ \$90,000 + in		29.0%	13.7%
Qualified Households -	2021	8,460	3,173
Total Households -	2021 ²	26,972	20,707
% Income Qualified @ \$90,000 + in		31.4%	15.3%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

EXHIBIT A-7

CALCULATION FOR INCOME QUALIFYING CRITERIA IN THE PRIMARY MARKET AREA

Income Qualification Level: \$110,000

	Year	Number of Households	
		65-74	75 +
	2000 ¹	1,836	1,122
	2016 ¹	4,454	1,722
	2018	5,102	1,921
	2021 ¹	6,255	2,262
Change in Income			
Qualified Households	2016 - 2021		
- Absolute		1,801	540
- Percentage		40.44%	31.36%
Average Annual % Change		7.03%	5.61%
Qualified Households -	2016	4,454	1,722
Total Households -	2016 ²	22,575	19,716
% Income Qualified @ \$110,000 + in 2016		19.7%	8.7%
Qualified Households -	2018	5,102	1,921
Total Households -	2018 ²	24,241	20,107
% Income Qualified @ \$110,000 + in 2018		21.0%	9.6%
Qualified Households -	2021	6,255	2,262
Total Households -	2021 ²	26,972	20,707
% Income Qualified @ \$110,000 + in 2021		23.2%	10.9%

Sources: Claritas
MDS Analysis

¹ Figures pulled from detailed demographic runs acquired from Claritas and included in Appendix C.

² The denominator in this calculation (total 2017 households) is provided on Exhibit A-1.

APPENDIX B

SUMMARY OF COMPETITIVE

ASSISTED LIVING

AND ALZHEIMER'S/MEMORY CARE UNITS

FACTORED INTO THE

CAPTURE RATE/DEMAND MODELS

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EXHIBIT B-1

SUMMARY OF COMPETITIVE ASSISTED LIVING UNITS
FACTORED INTO THE CAPTURE RATE / DEMAND MODELS

LaGrange, IL
Primary Market Area

<u>Project Name</u>	<u>Total Units</u>	<u>Percent Weight ¹</u>	<u>Occupied</u>	<u>Vacant</u>	<u>Planned/ Announced</u>
Units With Pricing That Is Lower Than Subject Community ²					
Golden Years Retirement	60	70 %	41	2	0
Eve Assisted Living	50	70	32	5	0
Moraine Court Supportive Living	170	70	119	0	0
The Scottish Home	49	70	31	5	0
Total Units Requiring Qualifying Incomes Lower Than the Minimum Threshold Assumed Herein ²					
	329		222	12	0
Units With Pricing That Is Comparable To Or Higher Than The Subject Community ³					
			<u>Number of Units Factored Into the Capture Rate/Demand Model</u>		
The Birches	58	70 %	39	2	0
The Woodlands at British Home	73	70	48	5	0
Brookdale at Burr Ridge	105	70	67	9	0
King Bruwaert House	77	70	52	3	0
Plymouth Place	52	70	35	2	0
Bethlehem Woods	61	70	40	4	0
Sunrise of Willowbrook	64	70	42	4	0
Total Units Backed Out (Subtracted) After the Income Screen ³					
	490		323	29	0

29 Vacant/Planned Units @
 92% Occupancy = 27 Units X
 70% absorption from the PMA =
 19 Units

¹ Percent of units estimated to be filled with households residing in the Primary Market Area.

² It is assumed that these households have already been excluded from the pool of prospects through the income screening.

³ The minimum cash flow income required to pay the monthly service fees is \$70,000 or more.

EXHIBIT B-2

SUMMARY OF COMPETITIVE ALZHEIMER'S UNITS

FACTORED INTO THE CAPTURE RATE / DEMAND MODELS

**LaGrange, IL
Primary Market Area**

<u>Project Name</u>	<u>Total Units</u>	<u>Percent Weight ¹</u>	<u>Occupied</u>	<u>Vacant</u>	<u>Planned/ Announced</u>
Units With Pricing That Is <u>Lower Than Subject Community</u> ²					
None	0	70 %	0	0	0
Total Units Requiring Qualifying Incomes Lower Than the Minimum Threshold Assumed Herein ²					
	0		0	0	0
Units With Pricing That Is Comparable To Or Higher Than The Subject Community ³					
			Number of Units Factored Into the Capture Rate/Demand Model		
The Birches	32	70 %	22	0	0
Bridgeview	47	70	32	2	0
Eve Assisted Living	11	70	6	0	0
Suzanne Place	11	70	8	0	0
Greys Place at Plymouth	26	70	18	0	0
Sunrise of Willowbrook	18	70	13	0	0
The Caledonian	24	70	0	0	24
Harvester Place	82	70	0	0	82
Total Units Backed Out (Subtracted) <u>After</u> the Income Screen ³					
	251		99	2	106

108 Vacant/Planned Units @
92% Occupancy = 99 Units X
70% absorption from the PMA =
70 Units

¹ Percent of units estimated to be filled with households residing in the Primary Market Area.

² It is assumed that these households have already been excluded from the pool of prospects through the income screening.

³ The minimum cash flow income required to pay the monthly service fees is \$110,000 or more.

APPENDIX C

DETAILED DEMOGRAPHIC REPORTS

ACQUIRED FROM CLARITAS

MDS RESEARCH COMPANY, INC.

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MDS Research Company, Inc.

Pop Facts: Household Income
by Age of Householder

LaGrange, IL - PMA

	Age 15-24	Age 25-34	Age 35-44	Age 45-54	Age 55-64	Age 65-74	Age 75-84	Age 85+	Total
2000 Census Age/Income Household Totals	4,345	22,674	34,816	31,795	22,816	18,768	17,154	4,587	156,955
% Of Total Households	2.77%	14.44%	22.17%	20.25%	14.53%	11.95%	10.92%	2.92%	100.00%
Income Less than \$15,000	672	1,673	1,706	1,672	1,831	2,578	3,553	1,304	14,989
% Across Age Ranges	4.48%	11.16%	11.38%	11.15%	12.22%	17.20%	23.70%	8.70%	100.00%
% Within Age Ranges	15.47%	7.38%	4.90%	5.26%	8.03%	13.74%	20.71%	28.43%	9.55%
Income \$15,000 to \$24,999	828	1,882	1,942	1,429	1,671	3,042	4,069	1,147	16,010
% Across Age Ranges	5.17%	11.76%	12.13%	8.93%	10.44%	19.00%	25.42%	7.16%	100.00%
% Within Age Ranges	19.06%	8.30%	5.58%	4.49%	7.32%	16.21%	23.72%	25.01%	10.20%
Income \$25,000 to \$34,999	688	2,893	2,819	2,366	2,311	2,836	2,765	695	17,373
% Across Age Ranges	3.96%	16.65%	16.23%	13.62%	13.30%	16.32%	15.92%	4.00%	100.00%
% Within Age Ranges	15.83%	12.76%	8.10%	7.44%	10.13%	15.11%	16.12%	15.15%	11.07%
Income \$35,000 to \$49,999	999	4,653	5,289	4,068	3,390	3,392	2,698	611	25,100
% Across Age Ranges	3.98%	18.54%	21.07%	16.21%	13.51%	13.51%	10.75%	2.43%	100.00%
% Within Age Ranges	22.99%	20.52%	15.19%	12.79%	14.86%	18.07%	15.73%	13.32%	15.99%
Income \$50,000 to \$74,999	831	5,842	8,821	7,507	4,836	3,093	2,062	432	33,424
% Across Age Ranges	2.49%	17.48%	26.39%	22.46%	14.47%	9.25%	6.17%	1.29%	100.00%
% Within Age Ranges	19.13%	25.77%	25.34%	23.61%	21.20%	16.48%	12.02%	9.42%	21.30%
Income \$75,000 to \$99,999	184	3,125	5,857	5,478	3,227	1,685	903	166	20,625
Income \$75,000 to \$99,999	0.89%	15.15%	28.40%	26.56%	15.65%	8.17%	4.38%	0.80%	100.00%
% Within Age Ranges	4.23%	13.78%	16.82%	17.23%	14.14%	8.98%	5.26%	3.62%	13.14%
Income \$100,000 to \$124,999	70	1,281	3,252	3,317	1,903	764	453	83	11,123
% Across Age Ranges	0.63%	11.52%	29.24%	29.82%	17.11%	6.87%	4.07%	0.75%	100.00%
% Within Age Ranges	1.61%	5.65%	9.34%	10.43%	8.34%	4.07%	2.64%	1.81%	7.09%
Income \$125,000 to \$149,999	35	469	1,535	1,883	1,155	443	175	52	5,747
% Across Age Ranges	0.61%	8.16%	26.71%	32.76%	20.10%	7.71%	3.05%	0.90%	100.00%
% Within Age Ranges	0.81%	2.07%	4.41%	5.92%	5.06%	2.36%	1.02%	1.13%	3.66%
Income \$150,000 to \$199,999	17	438	1,325	1,779	1,071	386	201	49	5,266
% Across Age Ranges	0.32%	8.32%	25.16%	33.78%	20.34%	7.33%	3.82%	0.93%	100.00%
% Within Age Ranges	0.39%	1.93%	3.81%	5.60%	4.69%	2.06%	1.17%	1.07%	3.36%
Income \$200,000 or more	21	418	2,270	2,296	1,421	549	275	48	7,298
% Across Age Ranges	0.29%	5.73%	31.10%	31.46%	19.47%	7.52%	3.77%	0.66%	100.00%
% Within Age Ranges	0.48%	1.84%	6.52%	7.22%	6.23%	2.93%	1.60%	1.05%	4.65%
Median Household Income	\$ 34,775	\$ 51,010	\$ 66,019	\$ 71,189	\$ 61,399	\$ 39,104	\$ 28,454	\$ 23,627	\$ 53,744

MDS Research Company, Inc.

Pop Facts: Household Income by Age of Householder

LaGrange, IL - PMA

	Age 15-24	Age 25-34	Age 35-44	Age 45-54	Age 55-64	Age 65-74	Age 75-84	Age 85+	Total
2016 Estimate Age/Income Household Totals	3,478	19,054	27,077	31,792	33,450	22,575	12,883	6,833	157,142
% Of Total Households	2.21%	12.13%	17.23%	20.23%	21.29%	14.37%	8.20%	4.35%	100.00%
Income Less than \$15,000	758	1,621	1,437	1,803	2,571	1,567	1,685	1,458	12,900
% Across Age Ranges	5.88%	12.57%	11.14%	13.98%	19.93%	12.15%	13.06%	11.30%	100.00%
% Within Age Ranges	21.79%	8.51%	5.31%	5.67%	7.69%	6.94%	13.08%	21.34%	8.21%
Income \$15,000 to \$24,999	560	1,391	1,210	1,576	2,168	2,790	2,841	1,924	14,460
% Across Age Ranges	3.87%	9.62%	8.37%	10.90%	14.99%	19.29%	19.65%	13.31%	100.00%
% Within Age Ranges	16.10%	7.30%	4.47%	4.96%	6.48%	12.36%	22.05%	28.16%	9.20%
Income \$25,000 to \$34,999	551	1,926	1,839	1,796	2,184	2,839	2,093	1,134	14,362
% Across Age Ranges	3.84%	13.41%	12.80%	12.51%	15.21%	19.77%	14.57%	7.90%	100.00%
% Within Age Ranges	15.84%	10.11%	6.79%	5.65%	6.53%	12.58%	16.25%	16.60%	9.14%
Income \$35,000 to \$49,999	546	2,814	2,912	3,050	3,525	3,261	2,012	809	18,929
% Across Age Ranges	2.88%	14.87%	15.38%	16.11%	18.62%	17.23%	10.63%	4.27%	100.00%
% Within Age Ranges	15.70%	14.77%	10.75%	9.59%	10.54%	14.45%	15.62%	11.84%	12.05%
Income \$50,000 to \$74,999	574	4,179	5,262	5,506	5,897	4,249	1,780	688	28,135
% Across Age Ranges	2.04%	14.85%	18.70%	19.57%	20.96%	15.10%	6.33%	2.45%	100.00%
% Within Age Ranges	16.50%	21.93%	19.43%	17.32%	17.63%	18.82%	13.82%	10.07%	17.90%
Income \$75,000 to \$99,999	283	2,815	4,211	4,851	4,736	2,773	999	314	20,982
% Across Age Ranges	1.35%	13.42%	20.07%	23.12%	22.57%	13.22%	4.76%	1.50%	100.00%
% Within Age Ranges	8.14%	14.77%	15.55%	15.26%	14.16%	12.28%	7.75%	4.60%	13.35%
Income \$100,000 to \$124,999	44	1,728	3,345	3,784	3,422	1,606	434	208	14,571
% Across Age Ranges	0.30%	11.86%	22.96%	25.97%	23.49%	11.02%	2.98%	1.43%	100.00%
% Within Age Ranges	1.27%	9.07%	12.35%	11.90%	10.23%	7.11%	3.37%	3.04%	9.27%
Income \$125,000 to \$149,999	29	1,077	2,143	2,453	2,292	893	271	134	9,292
% Across Age Ranges	0.31%	11.59%	23.06%	26.40%	24.67%	9.61%	2.92%	1.44%	100.00%
% Within Age Ranges	0.83%	5.65%	7.91%	7.72%	6.85%	3.96%	2.10%	1.96%	5.91%
Income \$150,000 to \$199,999	121	707	1,986	2,917	2,689	1,084	338	82	9,924
% Across Age Ranges	1.22%	7.12%	20.01%	29.39%	27.10%	10.92%	3.41%	0.83%	100.00%
% Within Age Ranges	3.48%	3.71%	7.33%	9.18%	8.04%	4.80%	2.62%	1.20%	6.32%
Income \$200,000 or more	12	796	2,732	4,056	3,966	1,513	430	82	13,587
% Across Age Ranges	0.09%	5.86%	20.11%	29.85%	29.19%	11.14%	3.16%	0.60%	100.00%
% Within Age Ranges	0.35%	4.18%	10.09%	12.76%	11.86%	6.70%	3.34%	1.20%	8.65%
Median Household Income	\$ 32,641	\$ 60,619	\$ 80,216	\$ 86,157	\$ 77,006	\$ 54,886	\$ 34,152	\$ 25,304	\$ 65,923

MDS Research Company, Inc.

Pop Facts: Household Income
by Age of Householder

LaGrange, IL - PMA

	Age 15-24	Age 25-34	Age 35-44	Age 45-54	Age 55-64	Age 65-74	Age 75-84	Age 85+	Total
2021 Projection Age/Income Household Totals	3,605	17,326	27,298	29,462	33,601	26,972	14,304	6,403	158,971
% Of Total Households	2.27%	10.90%	17.17%	18.53%	21.14%	16.97%	9.00%	4.03%	100.00%
Income Less than \$15,000	764	1,235	1,321	1,454	2,274	1,688	1,734	1,286	11,756
% Across Age Ranges	6.50%	10.51%	11.24%	12.37%	19.34%	14.36%	14.75%	10.94%	100.00%
% Within Age Ranges	21.19%	7.13%	4.84%	4.94%	6.77%	6.26%	12.12%	20.08%	7.40%
Income \$15,000 to \$24,999	544	1,026	1,040	1,236	1,840	3,000	2,946	1,718	13,350
% Across Age Ranges	4.07%	7.69%	7.79%	9.26%	13.78%	22.47%	22.07%	12.87%	100.00%
% Within Age Ranges	15.09%	5.92%	3.81%	4.20%	5.48%	11.12%	20.60%	26.83%	8.40%
Income \$25,000 to \$34,999	540	1,509	1,668	1,474	1,911	3,173	2,246	1,060	13,581
% Across Age Ranges	3.98%	11.11%	12.28%	10.85%	14.07%	23.36%	16.54%	7.81%	100.00%
% Within Age Ranges	14.98%	8.71%	6.11%	5.00%	5.69%	11.76%	15.70%	16.55%	8.54%
Income \$35,000 to \$49,999	583	2,401	2,800	2,605	3,328	3,729	2,212	769	18,427
% Across Age Ranges	3.16%	13.03%	15.20%	14.14%	18.06%	20.24%	12.00%	4.17%	100.00%
% Within Age Ranges	16.17%	13.86%	10.26%	8.84%	9.90%	13.83%	15.46%	12.01%	11.59%
Income \$50,000 to \$74,999	603	3,547	4,992	4,788	5,516	4,859	2,004	660	26,969
% Across Age Ranges	2.24%	13.15%	18.51%	17.75%	20.45%	18.02%	7.43%	2.45%	100.00%
% Within Age Ranges	16.73%	20.47%	18.29%	16.25%	16.42%	18.01%	14.01%	10.31%	16.96%
Income \$75,000 to \$99,999	295	2,586	4,172	4,481	4,732	3,438	1,175	323	21,202
% Across Age Ranges	1.39%	12.20%	19.68%	21.13%	22.32%	16.22%	5.54%	1.52%	100.00%
% Within Age Ranges	8.18%	14.93%	15.28%	15.21%	14.08%	12.75%	8.21%	5.04%	13.34%
Income \$100,000 to \$124,999	65	1,706	3,508	3,674	3,608	2,074	554	226	15,415
% Across Age Ranges	0.42%	11.07%	22.76%	23.83%	23.41%	13.45%	3.59%	1.47%	100.00%
% Within Age Ranges	1.80%	9.85%	12.85%	12.47%	10.74%	7.69%	3.87%	3.53%	9.70%
Income \$125,000 to \$149,999	39	1,170	2,440	2,594	2,566	1,230	379	159	10,577
% Across Age Ranges	0.37%	11.06%	23.07%	24.52%	24.26%	11.63%	3.58%	1.50%	100.00%
% Within Age Ranges	1.08%	6.75%	8.94%	8.80%	7.64%	4.56%	2.65%	2.48%	6.65%
Income \$150,000 to \$199,999	146	870	2,280	2,948	2,986	1,473	445	98	11,246
% Across Age Ranges	1.30%	7.74%	20.27%	26.21%	26.55%	13.10%	3.96%	0.87%	100.00%
% Within Age Ranges	4.05%	5.02%	8.35%	10.01%	8.89%	5.46%	3.11%	1.53%	7.07%
Income \$200,000 or more	26	1,276	3,077	4,208	4,840	2,308	609	104	16,448
% Across Age Ranges	0.16%	7.76%	18.71%	25.58%	29.43%	14.03%	3.70%	0.63%	100.00%
% Within Age Ranges	0.72%	7.36%	11.27%	14.28%	14.40%	8.56%	4.26%	1.62%	10.35%
Median Household Income	\$ 34,157	\$ 67,564	\$ 85,954	\$ 92,708	\$ 85,204	\$ 59,755	\$ 36,533	\$ 26,863	\$ 70,738

MDS Research Company, Inc.

Senior Life	LaGrange, IL - PMA					
	2000/2010 Census	%	2016 Estimate	%	2021 Projection	%
Population*	416,463		421,739		424,969	
Percent Growth (2000 to 2021)**	0.55%		1.27%		0.77%	
Population by Age*						
Total Population	416,463		421,739		424,969	
Age 45 to 54	63,633	15.28%	58,359	13.84%	54,345	12.79%
Age 55 to 64	51,282	12.31%	57,854	13.72%	58,534	13.77%
Age 65 to 74	29,159	7.00%	36,767	8.72%	44,204	10.40%
Age 75 to 84	19,580	4.70%	19,268	4.57%	21,503	5.06%
Age 85 and over	9,571	2.30%	9,908	2.35%	9,409	2.21%
Age 65 and over	58,310	14.00%	65,943	15.64%	75,116	17.68%
Total Population, Male	202,388		205,629		207,603	
Age 45 to 54	31,235	15.43%	28,547	13.88%	26,625	12.82%
Age 55 to 64	24,760	12.23%	28,088	13.66%	28,345	13.65%
Age 65 to 74	13,265	6.55%	17,109	8.32%	20,814	10.03%
Age 75 to 84	7,937	3.92%	7,966	3.87%	9,088	4.38%
Age 85 and over	2,988	1.48%	3,202	1.56%	3,058	1.47%
Age 65 and over	24,190	11.95%	28,277	13.75%	32,960	15.88%
Total Population, Female	214,075		216,110		217,366	
Age 45 to 54	32,398	15.13%	29,812	13.79%	27,720	12.75%
Age 55 to 64	26,522	12.39%	29,766	13.77%	30,189	13.89%
Age 65 to 74	15,894	7.42%	19,658	9.10%	23,390	10.76%
Age 75 to 84	11,643	5.44%	11,302	5.23%	12,415	5.71%
Age 85 and over	6,583	3.08%	6,706	3.10%	6,351	2.92%
Age 65 and over	34,120	15.94%	37,666	17.43%	42,156	19.39%

MDS Research Company, Inc.

Senior Life	LaGrange, IL - PMA					
	2000/2010 Census	%	2016 Estimate	%	2021 Projection	%
Population by Single-Classification Race*						
White Alone	318,868		311,464		305,248	
Age 65 and over	52,143	16.35%	57,637	18.51%	64,265	21.05%
Black or African American Alone	31,072		32,812		33,422	
Age 65 and over	2,630	8.46%	3,243	9.88%	3,822	11.44%
American Indian and Alaska Native Alone	1,312		1,386		1,436	
Age 65 and over	47	3.58%	55	3.97%	87	6.06%
Asian Alone	14,723		16,280		17,673	
Age 65 and over	1,784	12.12%	2,381	14.63%	3,079	17.42%
Native Hawaiian and Other Pacific Islander Alone	98		103		107	
Age 65 and over	8	8.16%	9	8.74%	15	14.02%
Some Other Race Alone	40,753		48,992		55,555	
Age 65 and over	1,321	3.24%	2,115	4.32%	3,186	5.73%
Two or More Races	9,637		10,702		11,528	
Age 65 and over	379	3.93%	498	4.65%	651	5.65%
Population by Hispanic or Latino*						
Hispanic or Latino	102,164		119,841		133,691	
Age 65 and over	4,470	4.38%	6,818	5.69%	9,838	7.36%
Not Hispanic or Latino	314,299		301,898		291,278	

MDS Research Company, Inc.

Senior Life	LaGrange, IL - PMA					
	2000/2010 Census	%	2016 Estimate	%	2021 Projection	%
Households by HH Income by Age of Householder**						
Householder Age 45 to 54	31,795		31,792		29,462	
Income Less than \$15,000	1,672	5.26%	1,803	5.67%	1,454	4.94%
Income \$15,000 to \$24,999	1,429	4.49%	1,576	4.96%	1,236	4.20%
Income \$25,000 to \$34,999	2,366	7.44%	1,796	5.65%	1,474	5.00%
Income \$35,000 to \$49,999	4,068	12.79%	3,050	9.59%	2,605	8.84%
Income \$50,000 to \$74,999	7,507	23.61%	5,506	17.32%	4,788	16.25%
Income \$75,000 to \$99,999	5,478	17.23%	4,851	15.26%	4,481	15.21%
Income \$100,000 to \$124,999	3,317	10.43%	3,784	11.90%	3,674	12.47%
Income \$125,000 to \$149,999	1,883	5.92%	2,453	7.72%	2,594	8.80%
Income \$150,000 to \$199,999	1,779	5.60%	2,917	9.18%	2,948	10.01%
Income \$200,000 or more	2,296	7.22%	4,056	12.76%	4,208	14.28%
Median Household Income	\$ 71,189		\$ 86,157		\$ 92,708	
Households by HH Income by Age of Householder**						
Householder Age 55 to 64	22,816		33,450		33,601	
Income Less than \$15,000	1,831	8.03%	2,571	7.69%	2,274	6.77%
Income \$15,000 to \$24,999	1,671	7.32%	2,168	6.48%	1,840	5.48%
Income \$25,000 to \$34,999	2,311	10.13%	2,184	6.53%	1,911	5.69%
Income \$35,000 to \$49,999	3,390	14.86%	3,525	10.54%	3,328	9.90%
Income \$50,000 to \$74,999	4,836	21.20%	5,897	17.63%	5,516	16.42%
Income \$75,000 to \$99,999	3,227	14.14%	4,736	14.16%	4,732	14.08%
Income \$100,000 to \$124,999	1,903	8.34%	3,422	10.23%	3,608	10.74%
Income \$125,000 to \$149,999	1,155	5.06%	2,292	6.85%	2,566	7.64%
Income \$150,000 to \$199,999	1,071	4.69%	2,689	8.04%	2,986	8.89%
Income \$200,000 or more	1,421	6.23%	3,966	11.86%	4,840	14.40%
Median Household Income	\$ 61,399		\$ 77,006		\$ 85,204	
Households by HH Income by Age of Householder**						
Householder Age 65 to 74	18,768		22,575		26,972	
Income Less than \$15,000	2,578	13.74%	1,567	6.94%	1,688	6.26%
Income \$15,000 to \$24,999	3,042	16.21%	2,790	12.36%	3,000	11.12%
Income \$25,000 to \$34,999	2,836	15.11%	2,839	12.58%	3,173	11.76%
Income \$35,000 to \$49,999	3,392	18.07%	3,261	14.45%	3,729	13.83%
Income \$50,000 to \$74,999	3,093	16.48%	4,249	18.82%	4,859	18.01%
Income \$75,000 to \$99,999	1,685	8.98%	2,773	12.28%	3,438	12.75%
Income \$100,000 to \$124,999	764	4.07%	1,606	7.11%	2,074	7.69%
Income \$125,000 to \$149,999	443	2.36%	893	3.96%	1,230	4.56%
Income \$150,000 to \$199,999	386	2.06%	1,084	4.80%	1,473	5.46%
Income \$200,000 or more	549	2.93%	1,513	6.70%	2,308	8.56%
Median Household Income	\$ 39,104		\$ 54,886		\$ 59,755	
Households by HH Income by Age of Householder**						
Householder Age 75 to 84	17,154		12,883		14,304	
Income Less than \$15,000	3,553	20.71%	1,685	13.08%	1,734	12.12%
Income \$15,000 to \$24,999	4,069	23.72%	2,841	22.05%	2,946	20.60%
Income \$25,000 to \$34,999	2,765	16.12%	2,093	16.25%	2,246	15.70%
Income \$35,000 to \$49,999	2,698	15.73%	2,012	15.62%	2,212	15.46%
Income \$50,000 to \$74,999	2,062	12.02%	1,780	13.82%	2,004	14.01%
Income \$75,000 to \$99,999	903	5.26%	999	7.75%	1,175	8.21%
Income \$100,000 to \$124,999	453	2.64%	434	3.37%	554	3.87%
Income \$125,000 to \$149,999	175	1.02%	271	2.10%	379	2.65%
Income \$150,000 to \$199,999	201	1.17%	338	2.62%	445	3.11%
Income \$200,000 or more	275	1.60%	430	3.34%	609	4.26%
Median Household Income	\$ 28,454		\$ 34,152		\$ 36,533	

MDS Research Company, Inc.

Senior Life	LaGrange, IL - PMA					
	2000/2010 Census	%	2016 Estimate	%	2021 Projection	%
Households by HH Income by Age of Householder**						
Householder Age 85 and over	4,587		6,833		6,403	
Income Less than \$15,000	1,304	28.43%	1,458	21.34%	1,286	20.08%
Income \$15,000 to \$24,999	1,147	25.01%	1,924	28.16%	1,718	26.83%
Income \$25,000 to \$34,999	695	15.15%	1,134	16.60%	1,060	16.55%
Income \$35,000 to \$49,999	611	13.32%	809	11.84%	769	12.01%
Income \$50,000 to \$74,999	432	9.42%	688	10.07%	660	10.31%
Income \$75,000 to \$99,999	166	3.62%	314	4.60%	323	5.04%
Income \$100,000 to \$124,999	83	1.81%	208	3.04%	226	3.53%
Income \$125,000 to \$149,999	52	1.13%	134	1.96%	159	2.48%
Income \$150,000 to \$199,999	49	1.07%	82	1.20%	98	1.53%
Income \$200,000 or more	48	1.05%	82	1.20%	104	1.62%
Median Household Income	\$ 23,627		\$ 25,304		\$ 26,863	
Households by HH Income**						
Total Household	156,955		157,142		158,971	
Income Less than \$15,000	14,989	9.55%	12,900	8.21%	11,756	7.40%
Income \$15,000 to \$24,999	16,010	10.20%	14,460	9.20%	13,350	8.40%
Income \$25,000 to \$34,999	17,373	11.07%	14,362	9.14%	13,581	8.54%
Income \$35,000 to \$49,999	25,100	15.99%	18,929	12.05%	18,427	11.59%
Income \$50,000 to \$74,999	33,424	21.30%	28,135	17.90%	26,969	16.96%
Income \$75,000 to \$99,999	20,625	13.14%	20,982	13.35%	21,202	13.34%
Income \$100,000 to \$124,999	11,123	7.09%	14,571	9.27%	15,415	9.70%
Income \$125,000 to \$149,999	5,747	3.66%	9,292	5.91%	10,577	6.65%
Income \$150,000 to \$199,999	5,266	3.36%	9,924	6.32%	11,246	7.07%
Income \$200,000 to \$249,999	2,717	1.73%	4,084	2.60%	5,468	3.44%
Income \$250,000 to \$499,999	2,659	1.69%	5,866	3.73%	6,493	4.08%
Income \$500,000 or more	1,922	1.22%	3,637	2.31%	4,487	2.82%
Average Household Income	\$ 73,172		\$ 92,951		\$ 100,274	
Median Household Income	\$ 53,744		\$ 65,923		\$ 70,738	
Owner Occupied Housing Units by Value**						
Total Owner-Occupied Housing Units	116,301		115,079		116,236	
Value Less than \$20,000	1,338	1.15%	3,852	3.35%	3,613	3.11%
Value \$20,000 to \$39,999	1,133	0.97%	1,221	1.06%	1,173	1.01%
Value \$40,000 to \$59,999	1,240	1.07%	1,107	0.96%	886	0.76%
Value \$60,000 to \$79,999	3,296	2.83%	1,432	1.24%	1,211	1.04%
Value \$80,000 to \$99,999	7,106	6.11%	3,208	2.79%	2,466	2.12%
Value \$100,000 to \$149,999	37,626	32.35%	13,023	11.32%	11,908	10.24%
Value \$150,000 to \$199,999	28,599	24.59%	19,105	16.60%	16,818	14.47%
Value \$200,000 to \$299,999	16,845	14.48%	31,176	27.09%	31,673	27.25%
Value \$300,000 to \$399,999	7,333	6.31%	13,437	11.68%	14,218	12.23%
Value \$400,000 to \$499,999	4,301	3.70%	7,326	6.37%	8,280	7.12%
Value \$500,000 to \$749,999	4,002	3.44%	8,846	7.69%	9,967	8.57%
Value \$750,000 to \$999,999	1,890	1.63%	4,958	4.31%	5,867	5.05%
Value \$1,000,000 or more	1,592	1.37%	6,388	5.55%	8,156	7.02%
Median All Owner-Occupied Housing Unit Value	\$ 161,209		\$ 246,804		\$ 263,281	
Group Quarters by Population Type*	3,375		3,384		3,386	
Correctional Institutions	0	0.00%	0	0.00%	0	0.00%
Nursing Homes	2,380	70.52%	2,383	70.42%	2,383	70.38%
Other Institutions	73	2.16%	72	2.13%	71	2.10%
College Dormitories	124	3.67%	124	3.66%	124	3.66%
Military Quarters	0	0.00%	0	0.00%	0	0.00%

Senior Life	LaGrange, IL - PMA					
	2000/2010 Census	%	2016 Estimate	%	2021 Projection	%
Other Noninstitutional Quarters	761	22.55%	768	22.70%	771	22.77%
Occupied Housing Units by Tenure*	154,162		157,142		158,971	
Owner-Occupied	113,115	73.37%	115,079	73.23%	116,236	73.12%
Renter-Occupied	41,047	26.63%	42,063	26.77%	42,735	26.88%
Households by Tenure by Age of Householder*						
Total Households	154,162		157,142		158,971	
Owner-Occupied	113,115		115,079		116,236	
Householder 55 to 64 years	24,243	21.43%	27,132	23.58%	27,126	23.34%
Householder 65 to 74 years	15,249	13.48%	18,981	16.49%	22,596	19.44%
Householder 75 to 84 years	11,173	9.88%	10,818	9.40%	11,902	10.24%
Householder 85 years and over	5,242	4.63%	5,146	4.47%	4,784	4.12%
Renter-Occupied	41,047		42,063		42,735	
Householder 55 to 64 years	5,678	13.83%	6,318	15.02%	6,475	15.15%
Householder 65 to 74 years	2,740	6.68%	3,594	8.54%	4,376	10.24%
Householder 75 to 84 years	1,998	4.87%	2,065	4.91%	2,402	5.62%
Householder 85 years and over	1,395	3.40%	1,687	4.01%	1,619	3.79%

*Census column is 2010 Data.

**Census column is 2000 Data.

***Percent growth figures are as follows:
2010 (2000-2010), 2016 (2010-2016),
and 2021 (2016-2021).

MDS Research Company, Inc.

Rank	LaGrange, IL - PMA ZIP code List	Total Households
		↑
1	60130 Forest Park	7,232
2	60141 Hines	92
3	60154 Westchester	6,758
4	60155 Broadview	3,099
5	60402 Berwyn	21,566
6	60455 Bridgeview	5,878
7	60457 Hickory Hills	5,316
8	60458 Justice	5,606
9	60459 Burbank	9,449
10	60480 Willow Springs	2,166
11	60501 Summit Argo	3,476
12	60513 Brookfield	7,505
13	60514 Clarendon Hills	3,880
14	60521 Hinsdale	6,014
15	60523 Oak Brook	4,149
16	60525 La Grange	12,429
17	60526 La Grange Park	5,629
18	60527 Willowbrook	12,051
19	60534 Lyons	4,137
20	60546 Riverside	6,358
21	60558 Western Springs	4,411
22	60638 Chicago	19,941

Accepted	22 Targets	157,142
Rejected	0 Targets	0
Total	22 Targets	157,142

Group Two Guaranty Fund LLC

1/6/2016

Bank Reconciliation Report

12/31/2015

070532685

Posted by: lsylvern on 1/6/2016

Balance Per Bank Statement as of 12/31/2015 621,439.67

Outstanding Checks

Check Date	Check Number	Payee	Amount
12/22/2015	141	secst - SECRETARY OF STATE OF IL	25.00
Less:	Outstanding Checks		25.00
	Reconciled Bank Balance		<u>621,414.67</u>

Balance per GL as of 12/31/2015 621,414.67

Reconciled Balance Per G/L 621,414.67

Difference (Reconciled Bank Balance And Reconciled Balance Per G/L) 0.00

Cleared Items:

Cleared Other Items

Date	Tran #	Notes	Amount	Date Cleared
12/15/2015	JE 47030	GP Admin Fee	23,362.00	12/31/2015
Total Cleared Other Items			<u>23,362.00</u>	

Group Two Guaranty Fund LLC

1/6/2016

Bank Reconciliation Report

12/31/2015

070532685

Posted by: Isylvern on 1/6/2016

Balance Per Bank Statement as of 12/31/2015 621,439.67

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Difference (Reconciled Bank Balance And Reconciled Balance Per G/L) **0.00**

Cleared Items:

Cleared Other Items

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12/15/2015	JE 47030	GP Admin Fee	23,362.00	12/31/2015
Total Cleared Other Items			<u>23,362.00</u>	



January 5, 2016

Village of LaGrange
53 S. La Grange Road
La Grange, IL 60525

Dear President and Board of Trustees:

We are writing this letter in support of an application for zoning relief to be filed by Pathway Acquisitions, LLC (“**Pathway**”), the contract purchaser for the property commonly known as Lot 2 and Lot 3 in Shawmut Avenue Addition No. 2 (the “**Property**”), two Park District-owned parcels lying to the west of Gordon Park. The proposed sale has been a part of the Park District’s Master Plan for over five years, as these small parcels have been found to be “underutilized and underutilizable” for park purposes. As stated by the appellate court in confirming the Park District’s authority to sell the Property, “[t]he revenue generated will allow the Park District to enhance services to the public and improve public facilities by providing amenities the public wants. . . . [and] the sale of the land will not result in a significant diminution in the public’s use and enjoyment of Gordon Park, if any at all.” (*In re Application of the Park District*, 2013 IL App (1st) 110334, ¶ 93). The Park District believes that the proceeds from the sale, as well as the property taxes to be generated by the redevelopment, will benefit La Grange taxpayers and Pathway’s proposed facility will provide needed services and jobs for our community. Proceeds from the sale will be used by the Park District to make programming, park, and facilities improvements and restore capital reserves.

Another benefit of Pathway’s proposed redevelopment will be improved vehicle and pedestrian access to Gordon Park from the west along vacated Shawmut Avenue which, as shown on Pathway’s plans, lies between Lot 2 and Lot 3. Pathway has agreed to construct and maintain this Shawmut Avenue extension at its own expense, according to the standards prescribed by the Village of La Grange, along with any landscaping, buffering, or other requirements that may be imposed by the Village. The Park District will retain ownership of its property in vacated Shawmut Avenue for the benefit of the public, and the use of the Shawmut Avenue extension will not be exclusive to Pathway. As noted in their plans, Pathway also plans to provide an amenity where the Shawmut Avenue extension meets Gordon Park, reflecting a park entrance and drawing members of the public to the park.

Incidental to the construction and maintenance of the Shawmut Avenue extension, the Park District has committed to provide Pathway with reasonable ingress and egress to the Property, in an easement agreement or other mutual agreement to be completed while Pathway is seeking its governmental approvals. The Park District expects the Village approval process will

influence the form of the contemplated agreement, and the Park District remains committed to work with the Village and Pathway to improve access to Gordon Park along vacated Shawmut Avenue.

Thank you for considering Pathway's application for zoning relief in connection with the proposed sale of the Property. We remain available to answer your questions and provide any additional information you may require while considering Pathway's proposed development.

Sincerely,



Dean Bissias
Executive Director
Park District of La Grange

